



# SVHCD FINANCE COMMITTEE MEETING

## AGENDA

TUESDAY, AUGUST 22, 2023

6:00 p.m. Regular Session

**To Be Held in Person at  
 Sonoma Valley Hospital, 347 Andrieux Street  
 Basement Conference Room  
 Sonoma, CA 95476  
 and Via Zoom Videoconference**

To Participate via Zoom Videoconferencing,  
 use the link below:

<https://sonomavalleyhospital-org.zoom.us/j/98352087178>

**Meeting ID: 983 5208 7178 Passcode: 384245**

Dial by your location:

1 669 219 2599 or 1 669 900 9128

AGENDA ITEM	RECOMMENDATION	
<b>MISSION STATEMENT</b> <i>The mission of the SVHCD is to maintain, improve, and restore the health of everyone in our community.</i>		
<b>1. CALL TO ORDER/ANNOUNCEMENTS</b>	<i>Boerum</i>	
<b>2. PUBLIC COMMENT SECTION</b> <i>At this time, members of the public may comment on any item not appearing on the agenda. It is recommended that you keep your comments to three minutes or less. Under State Law, matters presented under this item cannot be discussed or acted upon by the Board at this time. For items appearing on the agenda, the public will be invited to make comments at the time the item comes up for Board consideration.</i>	<i>Boerum</i>	
<b>3. CONSENT CALENDAR</b> a. Finance Committee Minutes 07.25.23	<i>Boerum</i>	Action
<b>4. FY 2023 AUDIT UPDATE</b>	<i>Boerum</i>	Inform
<b>5. ODC PROJECT REVIEW</b>	<i>Drummond/ Hennelly</i>	Inform
<b>6. PERMANENT MRI – PDC RESOLUTION – BID FOR MODULAR BUILDING (Resolution/Proposal)</b>	<i>Drummond / Hennelly</i>	Action
<b>7. AWARD ODC PROJECT PHASE II CT – BID AWARD – GMH BUILDERS (no documents)</b>	<i>Drummond / Hennelly</i>	Action
<b>8. SEISMIC HED DESIGN</b>	<i>Drummond / Hennelly</i>	Action
<b>9. PT EXPANSION</b>	<i>Drummond / Hennelly</i>	Action

<b>10. ODC UPDATE</b>	<i>Hennelly</i>	Inform
<b>11. EPIC UPDATE</b>	<i>Hennelly</i>	Inform
<b>12. FINANCIAL REPORT FOR MONTH END JULY 2023</b>	<i>Armfield</i>	Inform
<b>13. ADJOURN</b>	<i>Boerum</i>	

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**SVHCD  
FINANCE COMMITTEE MEETING  
MINUTES**

**TUESDAY, JUNE 27, 2023  
6:00 pm**

**In Person at Sonoma Valley Hospital  
347 Andrieux Street  
and Via Zoom Teleconference**

<b>Present</b>	<b>Not Present/Excused</b>	<b>Staff</b>	<b>Public</b>	
Bill Boerum, in person Wendy Lee Myatt, in person Carl Gerlach, in person Ed Case, in person Bob Crane, in person Peter Hohorst, in person Catherine Donahue, via Zoom	Graham Smith Subhash Mishra, M.D.	John Hennelly, CEO, in person Ben Armfield, CFO, in person Dawn Kuwahara, via Zoom	None.	
<b>AGENDA ITEM</b>	<b>DISCUSSION</b>		<b>ACTIONS</b>	<b>FOLLOW-UP</b>
<b>MISSION &amp; VISION STATEMENT</b> <i>The mission of SVHCD is to maintain, improve and restore the health of everyone in our community.</i>				
<b>1. CALL TO ORDER/ANNOUNCEMENTS</b>	<i>Lee Myatt</i>			
	Called to order at 6:30 p.m.			
	Wendy Lee Myatt called the meeting to order in place of Finance Committee Chair, Bill Boerum who was in route to the meeting location.			
<b>2. PUBLIC COMMENT SECTION</b>	None.			
<b>3. REPORT ON CLOSED SESSION</b>	Ms. Myatt-Lee chaired the meeting's closed session on behalf of Mr. Boerum. Ms. Myatt-Lee stated that there was a discussion regarding proposed services. No decisions were made.			
<b>4. CONSENT CALENDAR</b>	<i>Lee Myatt</i>		Action	
a. Finance Committee Minutes 06.27.23	The committee approved the 06.27.23 meeting minutes as presented.		<b>MOTION:</b> by Case to approve, 2 <sup>nd</sup> by Crane. All in favor.	

<b>5. TEMPORARY MRI SITE</b>	<i>Hennelly</i>	Inform	
	<p>Mr. Hennelly announced that after a public bidding process, GMH builders had submitted the lone bid for sitework to install the temporary MRI site. The committee discussed several next steps including the possibility of extending the bidding timeline in an effort to attract additional bidders for the project. Following a lengthy discussion, the committee recommended that Mr. Hennelly bring forward a proposal to the Board of Directors to award GHM builders the contract for the sitework to install the temporary MRI. The matter will be calendared for discussion and approval at the August 3rd Board meeting.</p> <p>Mr. Hennelly said that he expects this phase of the project to come in at budget and the timeline continues to have the unit operational by the end of 2023 with the permanent project going live in the spring of 2025.</p>		
<b>6. EPIC UPDATE</b>	<i>Hennelly</i>	Inform	
	Mr. Hennelly stated that there have been no significant updates and interface efforts with UCSF continue.		
<b>7. UCSF AFFILIATION UPDATE</b>	<i>Hennelly</i>	Inform	
	Mr. Hennelly reported that Dr. Peter Carroll is still set to begin his virtual clinic on July 1 <sup>st</sup> , and the Transfer Center project is still on pace. Additionally, Mr. Hennelly announced that UCSF has recently purchased St. Mary's and St. Francis Hospitals in San Francisco. The Committee then went on to discuss the current affiliation agreement with UCSF. It was agreed that further discussion should be scheduled for an upcoming Board of Directors meeting.		
<b>8. RFP UPDATE</b>	<i>Hennelly</i>		
	Mr. Hennelly reported that following a competitive RFP process, the Petaluma Health Center had been selected as the new partner for the Sonoma Valley Health Center. Mr. Hennelly said that although not selected, SVH is fully supportive and looking forward to the new partnership.		
<b>9. FINANCIAL REPORT FOR MONTH END JUNE 2023</b>	<i>Armfield</i>	Inform	

	<p>Mr. Armfield stated that the fiscal year ended with a weaker than expected June. Much of the month's performance is due to lower revenues because of extra contractual reserves on specific inpatient encounters and appealed denials. Operating expenses tracked very close to budget for the month, missing by \$30,000 or less than 1%, and supply costs jumped from previous months, which is directly related to year-end inventory performed in June.</p> <p>Mr. Armfield said that despite the slowdown, June marked the close to what has been a very successful fiscal year for the hospital. The year significantly outperformed budgeted volumes and revenues.</p>		
<b>10. REVIEW 4<sup>TH</sup> QUARTER SPENDING PLAN</b>	<i>Armfield</i>	Inform	
	Mr. Armfield provided a summary of the 4 <sup>th</sup> quarter spending plan, noting that most spending will be in collaboration with the Sonoma Valley Hospital Foundation.		
<b>11. ADJOURN</b>	<i>Boerum</i>		
	Meeting adjourned at 7:12 p.m.		

# ODC Project

**Sonoma Valley Health Care District**  
**Board of Directors**  
**September 7, 2023**

# Overview

- OVERALL ODC PROJECT BUDGET
- TEMPORARY MRI STATUS & BUDGET
- PERMANENT MRI – BOARD RESOLUTION xxx - ACTION
- CT PHASE II – BID AWARD – ACTION

# ODC Budget

Funding Summary		Amounts
SVHF Campaign Funds		\$21M
SVH Operational Funding		\$3M
	<b>Subtotal</b>	<b>\$24M</b>

Cost Summary	Forecast as of 9/2022	Spent as of 8/2023
ODC, Master Planning, Decommissioning, Design-Build CT, Cardio, Design-Build MRI, UCSF Clinic, 3D Mammo, Campaign, CT Settlement, CT Cover Contract	(\$14.1M)	(\$13.95M)
	<b>Remaining Funds (MRI Budget)</b>	<b>\$9.9M</b>
		<b>\$10.05M</b>

Remaining Scope Summary	Forecast as of 9/2022	Forecast as of 8/2023
CT Cover Contract (Remaining Commitments for CT Power Transition, Electrical Coordination, Nurse Call)	N/A	(\$368K)
CT Suite In-Fill (Re-Scoped to CT Phase 2 + PFT & Wound Care Clinics)	(\$400)	(\$1.0M)
MRI Equipment (w/adds - Software, Patient Monitor + Patient Experience)	(\$2.29M)	(\$2.55M)
MRI Modular + Partial Central Wing Demo + Clinics (Include: Relocation of services + City of Sonoma Site Improvements) Clinics scope moved to CT Phase II	(\$7.21M)	(\$5.92M)
Design-Build MRI Supplantation (Original Project Closure / Change of Use)	Inc. Above	(\$215K)
	<b>TOTAL REMAINING FUNDS</b>	<b>\$0.00</b>
		<b>\$0.00</b>



# Temporary MRI

- GMH BUILDERS, INC. AWARDED SITE WORK BID – CHANGE ORDER # 1 \$650K
- CITY OF SONOMA - SITE IMPROVEMENTS REVIEWED BUT NO PERMIT DELAY TO PROJECT
- PLAN APPROVAL/GROUNDBREAKING TRACKING FOR END OF AUGUST - NO IMPACT TO DECEMBER COMPLETION DATE ANTICIPATED

Funding Summary	Amounts
<b>Project Budget</b>	<b>\$1.2M</b>

Budget Summary	Forecast as of 8/2023
MRI Equipment (\$2.29M Funded from ODC)	\$0.0
MRI Temporary Structure	\$350K
Temporary MRI Site Preparation Construction by GMH	\$650K
Design, Permitting, Owner, Contingency	\$200K
Site Improvements Per City of Sonoma Public Works (Deferred to ODC Project)	\$0.0
<b>Subtotal</b>	<b>\$1.2M</b>

# Permanent MRI

- RECOMMENDING AWARD OF CONTRACT TO PDC FACILITIES FOR MODULAR STRUCTURE
  - BOARD RESOLUTION xxx FOR PROPOSED ALTERNATE PROCUREMENT - AWARD PDC FACILITIES - MODULAR: NOT TO EXCEED \$1.73M
- 4 MODULAR BUILDING FIRMS IDENTIFIED WITH CALIFORNIA MEDICAL IMAGING EXPERIENCE
- ONLY 2 FIRMS ELECTED TO SUBMIT PROPOSALS PER SOLICITATION DOCUMENTS
  - VERTRAN ASSOCIATES VALIDATED AND LEVELED SCOPE BETWEEN PROPOSALS
  - PDC FACILITIES                      BASE PROPOSAL - \$1.43M (LEVELED TO \$1.73M)
  - ADVANCED MEDICAL SPACE      BASE PROPOSAL - \$2.32M
- HOSPITAL PERFORMED REFERENCE CHECKS ON BOTH FIRMS – PDC
  - VIRGINIA UROLOGY – “PDC great despite challenging project. Very responsive and solution oriented”  
Bridgette Booth Administrator/CEO
  - TITUSVILLE HOSPITAL – “ The process, quality and professionalism was top shelf. PDC sends you step by step project installation guide which your GC will need to follow. I highly recommend PDC.” Terry Beck, MI Director
  - PROVIDENCE ST. MARY MEDICAL CENTER (CALIFORNIA) – “PDC was great to work with. Project came in on time but budget was large due in part to seismic necessity” Brian Hennebry, Executive Director Strategy & Business Development

# CT Phase 2 / Clinics

- RECOMMENDING AWARD OF CONTRACT TO GMH BUILDERS, INC. AS SOLE RESPONSIVE BIDDER.
  - BID AMOUNT OF \$1.2M WILL BE REDUCED BY CHANGE ORDER #1 TO \$1.05M THROUGH THE ELIMINATION OF SCOPE.
    - Reduced General Conditions – GMH conduct Temp Site work & Phase II work concurrently
    - Eliminate roof repair – to SVH maintenance
    - Flooring material duplicated in sub pricing
- PRE-BID WALKTHROUGH – ALL PARTICIPANTS ELIGIBLE TO BID
  - 8 GENERAL CONTRACTORS
- SUBMISSIONS:
  - 1 BID PACKAGE RECEIVED – GMH BUILDERS
  - UNKNOWN REASON FOR OTHER NON-RESPONDERS
- BID REVIEW - SOLE BID IN LINE WITH ORIGINAL SCOPE AND ADDED REDUCTIONS
  - ORIGINAL PHASE 2 SCOPE ESTIMATED \$450K
  - CLINIC ORIGINAL SCOPE ESTIMATED \$1M
  - REBIDDING WOULD ELIMINATE REDUCED GENERAL CONDITIONS SAVINGS; GMH IS ALREADY CONTRACTOR FOR CT PROJECT –SUPPLANTATION COST WOULD BE INCURRED

# RECOMMENDATION SUMMARY

- PROJECTS ARE ON SCHEDULE AND WITHIN BUDGET
- NEXT STEPS
  - BOARD RESOLUTION: AWARD PDC FACILITIES – MODULAR BUILDING PROPOSAL – NTE \$1.73M
  - BOARD ACTION: AWARD GMH BUILDERS - CT PHASE II/CLINICS - \$1.214M – REDUCED THROUGH CHANGE ORDER #1 \$1.05M
- RE BID PROJECT – NOT RECOMMENDED
  - GMH is performing Temp MRI Site Work and could work concurrently on CT Phase II to reduce General Condition costs
  - GMH is General Contractor of record on CT Project – supplantation costs from the designer would be incurred to make the change with HCAI

Questions?

RESOLUTION NO. \_\_\_-23

A RESOLUTION OF THE BOARD OF DIRECTORS OF THE SONOMA VALLEY  
HEALTH CARE DISTRICT DIRECTING THE EXECUTION OF A CONTRACT FOR  
MODULAR OFFICE BUILDING

RECITALS

A. WHEREAS, the Sonoma Valley Health Care District (“District”) requires the design, construction, and installation of a Modular Office Building (the “Project”), which is further set forth in the solicitation documents set forth in Exhibit A attached hereto and incorporated herein by reference (“Solicitation Documents”); and

B. WHEREAS, staff conducted a diligent search for all firms that can provide the Project, and only identified four such firms:

- i. PDC Facilities, Inc.
- ii. Advanced Medical Space
- iii. WillScot
- iv. Rad Tech

(collectively, the “Solicited Firms”); and

C. WHEREAS, the District issued the Solicitation Documents to the Solicited Firms, and only PDC Facilities, Inc. (“Contractor”) and Advanced Medical Space (“Other Respondent”) elected to submit proposals in response to the Solicitation Documents, which are set forth in Exhibit B and Exhibit C attached hereto and incorporated herein by reference (respectively, “Contractor Proposal” and “Other Respondent Proposal”, and collectively, the “Proposals”); and

D. WHEREAS, District staff identified that competitive bidding would be unavailing because the design of a satisfactory Project is highly specialized, there is not a ready market of design-professionals not employed by such firms that could prepare a specification for competitive bidding, and the cost of retaining a design professional if even available to prepare a specification for competitive bidding would be cost prohibitive; and

E. WHEREAS, Contractor has provided a proposal that meets the criteria of the needed Project at a lower price than offered by Other Firm, even after taking into effect changes identified by the District to level the Proposals that are reflected in Exhibit D (the “Reconciled Contractor Proposal”); and

F. WHEREAS, the District wishes to contract with Contractor to provide the Project for an amount not to exceed One Million Seven Hundred Thirty Thousand Dollars (\$1,730,000); and

G. WHEREAS, as stated in *Mike Moore's 24-Hour Towing v. City of San Diego* (1996) 45 Cal.App.4th 1294, 1303, “[a] public entity's award of a contract, and all of the acts leading up to

the award, are legislative in character. [T]he letting of contracts by a governmental entity necessarily requires an exercise of discretion guided by consideration of the public welfare[]”; and

H. WHEREAS, the District is empowered to award a contract that would otherwise require competitive bidding without competitive bidding “where competitive proposals work an incongruity and are unavailing as affecting the final result, or where competitive proposals do not produce any advantage, or where it is practically impossible to obtain what is required and to observe such form, competitive bidding is not applicable.” (*Graydon v. Pasadena Redevelopment Agency* (1980) 104 Cal.App. 3d 631, 636); and

NOW THEREFORE, BE IT RESOLVED, by the Board of Directors of the Sonoma Valley Health Care District that:

1. District staff (a) engaged in a diligent search for all firms that provide satisfactory Project within the geographic vicinity of the District, and only identified four such firms, (b) obtained proposals from two of such firms after soliciting all identified firms, and (c) proposes that the District award the contract to the firm submitting the proposal that meets the criteria of the needed Project at the lowest rate offered, Contractor, on terms consistent with the Reconciled Contractor Proposal (collectively, the “Proposed Alternative Procurement”);

2. In light of the Proposed Alternative Procurement, competitive bidding is not required because it would work an incongruity, would be unavailing as affecting the final result, and would not produce any advantage; and

3. The District Chief Executive Officer or designee is hereby authorized and directed to enter into the contract set forth in Exhibit E consistent with this Resolution (the “Proposed Contract”), subject to minor revisions, if any, approved by the District Chief Executive Officer and District legal counsel to comply with applicable law or otherwise ensure that the District contracts for the Project on clear, unambiguous terms that are in the best interest of the District.

ADOPTED by the Board of Directors of the Sonoma Valley Health Care District at a regular meeting held on the 7<sup>th</sup> day of September, 2023, by the following vote:

AYES:  
NOES:  
ABSENT:  
ABSTAIN:

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Judith Bjorndal, Board Chair,

ATTEST:

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Wendy Lee Myatt, Secretary

Exhibit A  
Solicitation Documents

Exhibit B  
Contractor Proposal



Exhibit C  
Other Respondent Proposal

Exhibit D  
Reconciled Contractor Proposal

Exhibit E  
Proposed Contract



To: Luis Sarmiento Jr.  
 Project Manager  
[luis.sarmiento@vertranassociates.com](mailto:luis.sarmiento@vertranassociates.com)  
 Mobile 916-505-0988, VoIP 415-737-5037

**Proposal # 52323-PDC-1**

**Date Issued:** 5/23/2023

**Date Expires:** 6/22/2023

**Created By:** Jim Maslowski

414-530-7704

[jpm@pdcbiz.com](mailto:jpm@pdcbiz.com)

**Account Manager:** Blayne Seidl

262-853-1190

[blayne@pdcbiz.com](mailto:blayne@pdcbiz.com)

**PROJECT: SVH Modular Office Building for MRI**

**Budget Summary**

Item	Qty.	List Price Per Unit	Discount Per Unit	Net Price Per Unit	Total Budget
MRI Relocatable Building 15x50	2				1,400,000.00
Design fee	1				30,000.00
Installation management at site - 1 week	1				15,000.00
<b>Sub-Total For a Building MRI Mini-Clinic</b>					<b>\$ 1,430,000.00</b>
<b>Tax Excluded</b>					<b>\$ -</b>
<b>Total MRI Mini-Clinic Base Price fob PDC</b>					<b>\$ 1,430,000.00</b>

**THIS PROPOSAL DEVIATED FROM THE BID REQUEST PACKAGE**

**Relocatable Cassette Building** specifications are based on typical PDC design standards attached as Exhibit A

All site work and rigging of the modular buildings at the site by others

All utility connections to the PDC buildings are by the site contractor

Delivery of the Cassette Buildings to the site is excluded

Chiller for the MRI is by the MRI vendor

**Payment Terms:** 25% with PO plus monthly progress payments Net 30

95% payment due to PDC prior to shipping the Cassette Buildings from PDC

**Warranty:** 14 months after the building is complete at PDC

Third party inspections will be provided by TR Arnold

Any additional inspections are the responsibility of the Customer

Permits, Fees and all approvals are excluded

**Purchase Orders:** Not effective until acknowledged by PDC

PDC Terms and Conditions apply

PDC will provide a budget for delivering the Cassettes to the site after a PO is issued to PDC for the project

Contact Jared Galassini if you have questions about issuing a purchase order or information regarding payments  
 Cell 608-289-4887  
[jgalassini@pdcbiz.com](mailto:jgalassini@pdcbiz.com)

**Submit Purchase Order To:**

[orders@pdcbiz.com](mailto:orders@pdcbiz.com)

PDC Facilities, Inc.

700 Walnut Ridge Dr.

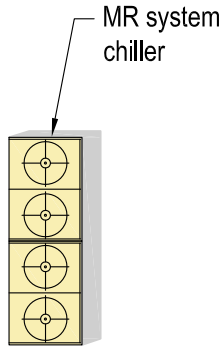
Hartland, WI 53029

262-367-7700

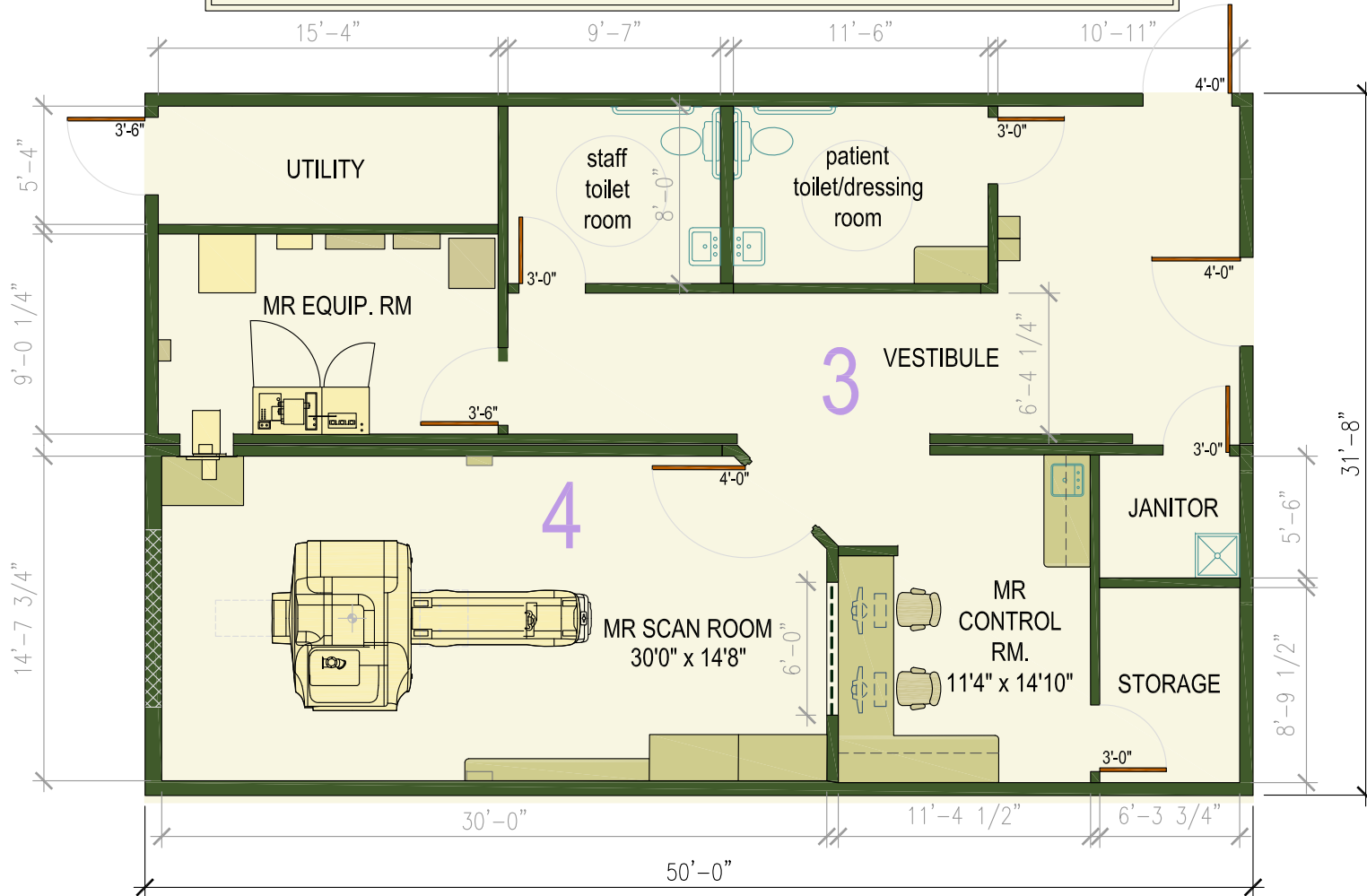
**Wire Transfer Instructions** are available from Jared Galassini

# Technical Movable Building ("TMB")

Movable • Self-Contained • Hospital Grade



FEATURES		
• Institutional construction	• Fully finished interior	• 5 Gauss containment
• 1-hour fire rated walls	• Fully finished exterior	• IBC seismic zone D
• 1-hour fire rated roof	• Fully contained HVAC	• IBC 120 mph structure
• MR system site installed	• 5-year RF shield warranty	• HHS compliant



**30'x50' PDC "TMB" for: Siemens 1.5T & 3.0T MR Systems**

1/8" = 1'-0"

## PDC FACILITIES

700 Walnut Ridge Drive • Hartland, WI 53029 • TEL 262 367-7700

rev 1  
4/20/23



# EXHIBIT B

## PDC C50w "Cassette" Building Diagnostic Imaging Suite Building GENERIC OUTLINE SPECIFICATION

Doc Number MR-Cassette-C50w-SPEC, rev-0, 18 May 2023

### I. NOMINAL DIMENSIONS

- A. The 'C50w' Cassette is a nominal 32' x 50', 1600 sq.ft, comprised of two 16'x50' modules
- B. The Cassette overall height is 12'-8".
- C. Gross Weight: module 1: 100,000 lbs.; module 2: 90,000 lbs.

### II. NATIONAL CODE COMPLIANCE

- A. Building manufacturing documents are reviewed, approved, and the building is inspected by State Inspectors, and/or nationally recognized 3<sup>rd</sup> party inspection agencies, and is listed to meet the following Building Codes:

OCCUPANCY CLASSIFICATION		FIRE RATINGS
<b>COMMERCIAL - BUSINESS</b> or <b>INSTITUTIONAL - HEALTH CARE</b>		Exterior walls.....UL U425 - 1 Hr.  Roof/Ceiling.....UL P518 - 1 Hr.  Floor..... Non-Combustible
APPLICABLE BUILDING CODES	CONSTRUCTION TYPE	
International Building Code <b>IBC</b> .....2021	Type II B	
International Plumbing Code <b>IPC</b> .....2021	DESIGN CRITERIA	
International Mechanical Code <b>IMC</b> .....2021	Wind Load V <sub>ULT</sub> ..... 150 mph, 'Exposure C' Floor Load..... 100 psf Roof Load..... 90 psf Seismic Category.....D Outside Ambient Air.....-20°F thru 105°F Min. Water Pressure.....30 lbs. Residual	
National Electric Code <b>NEC</b> .....2020		

### **III. SUPERSTRUCTURE**

- A. The superstructure is a fully weld-connected, post-&-beam style structure, comprised of HSS12x4 perimeter tubes for the floor and roof assemblies, and HSS4x4, & HSS4x6 tube posts. All heavy gauge steel members are grade A36 steel.

#### **FLOOR ASSEMBLY**

- A. Perimeter structural steel beam with cold formed metal joist infill.
- B. Joists: Fully welded 8" x 14 ga. metal joists @ 16" o.c.  
Fully welded (6" x 14 ga. metal joists @ 12" o.c. in Scan Room)  
Optional - blown-in spray foam insulation.
- C. Floor Decking: 1" nominal metal deck with 2 1/2" reinforced light-weight concrete.
- D. Insulation: R-30, 8" Fiberglass batts, with vapor barrier  
(R-21, 6" Fiberglass batts, with vapor barrier in Scan Room)
- E. Bottom Decking: 9/16" metal deck welded to bottom of steel floor joists.
- F. Finish Floor Covering
  - 1. Scan Room: medical grade sheet vinyl.
  - 2. Control Room: medical grade sheet vinyl.
  - 3. Equipment Room:
    - 3.1 Static dissipative sheet vinyl
  - 4. **other flooring upgrades available upon request.**

### **IV. EXTERIOR WALL ASSEMBLY**

- A. Structural Studs: Fully welded 4" x 16 ga. steel studs @ 16" o.c.
- B. Insulation: R-15, 4" fiberglass batts, with vapor barrier
- C. Sheathing: One (1) layer of 5/8" *DensGlass*® Fireguard gypsum sheathing at the exterior with non-cementitious water barrier application and one (1) layer of 5/8" gypsum wallboard type X at the interior side of the exterior wall.
- D. Finish: Standard exterior finish system shall be *Dryvit Outsulation+*, fine sand finish; with system that includes high impact for first 2'-0" above foundation and at four (4) outside corners, and standard mesh imbedded in RFP coat over 2" rigid insulation board on all surfaces.

### **V. INTERIOR WALLS**

- A. Studs: Fully welded 16 ga. metal studs @ 16" o.c. minimum.
- B. Wall Height: Full height to bottom of roof assembly. Nominal 10'-1" height.
- C. Finish Wall Covering:
  - 1. Occupied Rooms: Acrylic latex paint over gypsum board.

2. Scan Room: Acrylic latex paint over gypsum board.
  3. Equipment Room: Flat acrylic latex paint over gypsum board.
  4. Vinyl Base: Coordinated with wall finish.
  5. Options: custom finishes available upon request.
- D. RF EMI Shield: Scan Room to have GRQ Series, fully welded, non-oxidizing, RF Shield enclosure by PDC, with five (5) year limited guarantee. Enclosure to be supplied with GRQ, black-plated *Kleer-View* window, and lightweight compression, automatic latching RF door. PDC's shielding system is approved by all MRI vendors with over 4,000 RF shields installed since 1984.
- E. Magnetic Shield (option)
1. 1006 or M36 steel shielding in the Scan Room walls to contain the 5 gauss public access exclusion zone within the Cassette building exterior walls.
- F. Doors:
1. Interior Doors: Solid core oak veneered, factory stained and varnished
  2. Exterior Doors: Hollow metal insulated, fire-rated, "B" label, with semi-gloss alkyd paint.

## **VI. ROOF ASSEMBLY**

- A. Perimeter: Perimeter structural steel beam with cold form metal joist in-fill.
- B. Joists: 8" x 2" 14 ga. metal joist at 16" o.c.
- C. Insulation: 8", R-30, batt insulation with vapor barrier.
- D. Insulation: 1-1/2" - 5" tapered polyisocyanurate insulation board.
- E. Insulation: 1/2", *Firestone Isogard* HD cover board.
- F. Roofing: fully adhered EPDM rubber membrane. 150mph, exp. "C" rated.
- G. Finish Ceiling:
1. Other rooms: 2 x 2 Armstrong ceiling tile in 2 x 2 metal grid.
  2. Scan room: 2 x 2 Armstrong ceiling tile in 2 x 2 aluminum grid.
  3. Equipment room: Acrylic latex paint over gypsum board.
- H. Roof Top Safety Railings or Roof-screen: Roof screen is provided by Customer or site contractor. Structural roof anchors for safety railing/screening systems are available as an option.

## **VII. FIRE PROTECTION OPTIONS**

### **A. Fire Alarm System**

A PDC Fire Protection Plan will be provided to the customer for its local fire alarm contractor's design review and approval for compliance with local codes. Empty electrical conduit and junction boxes to accommodate smoke detectors, audio/visual annunciators, pull stations and an alarm control panel (if required), will be provided in the Entree. Wiring and devices will be provided, installed, tested, and certified by the customer's local contractor. Existing fire alarm panel capacity checks are the



customer's responsibility. New sub-panel installations are the customer's responsibility unless specifically pre-ordered for installation into the Entree.

B. Wet Sprinkler System

A PDC Fire Protection Plan will be provided to the customer for its local fire suppression contractor's design review and approval for compliance with local codes. A Wisconsin licensed contractor hired by PDC will install, test and certify a schedule 40 copper pipe sprinkler system attached to automatic sprinkler heads, rated for 165°F, at the ceiling. Concealed type sprinkler heads will be provided in rooms with acoustic ceilings, and protected heads will be provided in the Equipment room. System contains water and shall be connected to a water supply so that water discharges immediately from sprinkler head opened by heat from a fire. The system can be provided with a back flow prevention device, and an indicating type control valve with built-in tamper switch, if pre-ordered by the customer. The entire system will be connected to the customer's existing system by the customer's contractor who will re-test and certify the entire system. Power shall be supplied to the flow switch and any other such alarm devices by the customer's electrical contractor. Sprinkler pipe sizing will be determined by NFPA 13 Light Hazard Pipe Schedule. Head spacing also will be determined by NFPA 13 Light Hazard Occupancy 225 sq. ft. maximum per head.

C. Dry Sprinkler System

The "dry" fire suppression system shall be a single interlock preaction type system. The system will consist of a complete preaction deluge valve with the necessary trim for proper operation and will be controlled by an indicating type control valve. The system can be provided with a backflow prevention device, and an indicating type control valve with built-in tamper switch, if pre-ordered by the customer. Air compressor is a wall mounted unit. Detection for the preaction system will be by fixed temperature and/or heat detectors, and connected by owner's contractor. An alarm contact will be provided at the preaction valve. The piping system will consist of a schedule 40 copper pipe, attached to automatic sprinkler heads, rated for 165°F, at the ceiling. Concealed type sprinkler heads will be provided in rooms with acoustic ceilings, and protected heads will be provided in the Equipment room.

**VIII. HVAC**

- A. The HVAC System maintains separate temperature zones, provides relative humidity to MR system rooms, and provides continuous ventilation. The system consists of rooftop package AC units. The system is designed for ambient conditions of -20° F to 105° F. Duct mounted electric heaters provide heat as required to the zones. Stand-alone wall mounted electric steam generating humidifier(s) provides humidity.
- B. 90% (MERV 14) air filtration package is available for occupied spaces.

**IX. MEDICAL GAS & SUCTION** (optional)

- A. The scan room will be provided with three (3) wall mounted medical gas and suction lines. Face plates will be compatible with the existing facility system. The copper piping will be ACR oxy/med nitrogenized, type "L" copper tube. Piping system and outlets are pre-installed, pressure tested, and capped, by a NFPA certified medical gas installer.
- B. Shut-off valve boxes, and medical gas alarm panels, are not included in the Entree building, unless specifically requested by the customer.

- C. The final site connection, system testing, and final system certification is the customer's site contractor's responsibility.

**X. PLUMBING**

- A. Water pipe & fittings will be type "L" copper tube, with lead free solder. Soil and vent pipe will be PVC. Valves will be bronze ball type.
- B. Toilet room fixtures will be *Kohler* vitreous china, or equivalent. Faucets will be *Chicago* chrome plated finish, or equivalent, with wrist blades. Counter top mounted sinks will be *Lustertone* stainless steel self-rimming, or equivalent.
- C. Water heaters will be *Chronomite* point-of-use type, or equivalent.

**XI. ELECTRICAL**

- A. Main Distribution Panel:
  - 1. 480V 3-phase solidly grounded wye, consisting of 3 phase conductors, and 1 ground. (Amperage varies with MR system).
- B. Lighting:
  - 1. Equipment Room shall have wall-mounted LED light fixtures.
  - 2. Other Rooms shall be provided with 2 x 2 LED in suspended ceiling grid and LED down lights controlled by dimmer switches.
  - 3. Scan Room shall be provided with LED down lights powered by a low-power light controller, and a dimmer switch in the Control Room.
- C. Critical Circuit (option)
  - 1. Critical 110V duplex outlets, can be provided if specifically requested by customer, but are not included as a standard feature in the 'Cassette' building. If provided, hard conduit and wires shall be included, and routed back to the existing site building's critical power circuit.
- D. Exterior Signage / Lighting / Security Cameras
  - 1. Exterior building junction boxes with conduit and appropriate switching gear for signs, lighting and security cameras will be provided if specifically requested by the customer but are not included as a standard feature in the 'Cassette' building.



## EXHIBIT C

### Exclusions and Notes

1. Nurse call, fire alarm and Public address and Comms are excluded. PDC will provide empty conduit in the Cassette buildings for installation of the cables, wires and equipment by others.
2. Stone veneer is added at site by others.
3. Pergola, roof screen, sunshade and any metal corrugated screens are provided by others at the site. PDC will include structural anchors and blocking as required.
4. Aluminum ladder is by others.
5. All connections at the site are by others.
6. Rigging at the site is by others.
7. Post installed anchors are by others.
8. All signage will be provided and installed by others.
9. HDC approval by others.
10. The 2 hour rated wall is excluded.
11. All demolition is excluded.
12. All sitework is excluded.

We need to evaluate the nLight and BAS requirements. If work is required beyond the typical PDC spec, there will be a change order issued.

PDC will provide an RF technician to perform the RF work in the field and test the RF enclosure.

PDC will provide a Project Manager for 3 weeks at the site after the buildings are delivered to supervise work by the contractor to set and connect the buildings at the site.

Rigging the buildings off the transporters onto the foundations is by the contractor under the supervision of PDC.

The PDC Cassette Buildings arrive 99% complete, except for the work to connect the buildings at the site.

PDC has provided approximately 400 Relocatable cassette buildings for MRI since 1992.

# R.O.M. Budget Proposal For

Architect

**SKA** SKA ARCHITECTURE  
800 Haight Street  
San Francisco, CA 94117  
Office 415.362.3800

---

Owner

**SONOMA VALLEY HOSPITAL**  
SONOMA VALLEY HOSPITAL  
EAST WING  
347 ANDRIEUX STREET  
SONOMA, CA 94976

---

Consultant

**NOT FOR CONSTRUCTION**

---

SKA Project Number  
22105

Owner



**SONOMA VALLEY  
HOSPITAL  
EAST WING**  
347 ANDRIEUX STREET  
SONOMA CA, 95476

Drawn by \_\_\_\_\_ MB

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Checked by \_\_\_\_\_ WW

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Project Name  
**MODULAR MRI  
ADDITION**

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Sheet Title  
**SITE PLAN & LIGHTING  
PLAN**

**This Rough Order Magnitude Budgetary Proposal ONLY, (FINAL PRICEING WILL BE CONFIRMED AFTER DESIGN IS 100% COMPLETE)**

This R.O.M is for a MRI outpatient imaging center. This center will be comprised of (3) Component Constructed units of various sizes based on the floor plan provided. The approximate size of the overall building footprint with additional Item being requested is Approx. 1600 gross sqft. The building will be Constructed out of Steel and Concrete with a Dryvit and Faux Brick wainscot Exterior, RTU Mechanical units. The intended use group is for an outpatient B Occupancy OSHPOD 3 local or state 3<sup>rd</sup> party review.



July 3, 2023  
Luis Sarmiento Jr  
Project Manager  
Vertran Associates

Dear Luis,

This **BUDGETARY** proposal provides 3-unit off-site manufactured component construction. Pricing is for a B-Occupancy built to meet the following CA requirements, 3<sup>rd</sup> party state of California, OSHPOD 3 approved codes. Facilities intended use is for a human subject only. The facility is Out-Patient only MRI Imaging facility using Siemens MRI diagnostic imaging. The facility will be designed and constructed to house Siemens Imaging Systems.

1. Proposed Modular Medical Research Building Floor Plan
2. Building Specification
3. Scope of Responsibility/Scope of Work
4. Project Clarifications
5. Preliminary Schedule
6. Pricing Summary
7. Proposed Project Invoice Schedule

Advanced Medical Space LLC is pleased to offer this 2-unit (Approx. 1600 S.F.) Out-Patient Multi-Modality imaging suite for **\$2,302,986.00. Two Million Three Hundred Two Thousand Nine Hundred Eighty-Six Dollars and Zero Cents.**

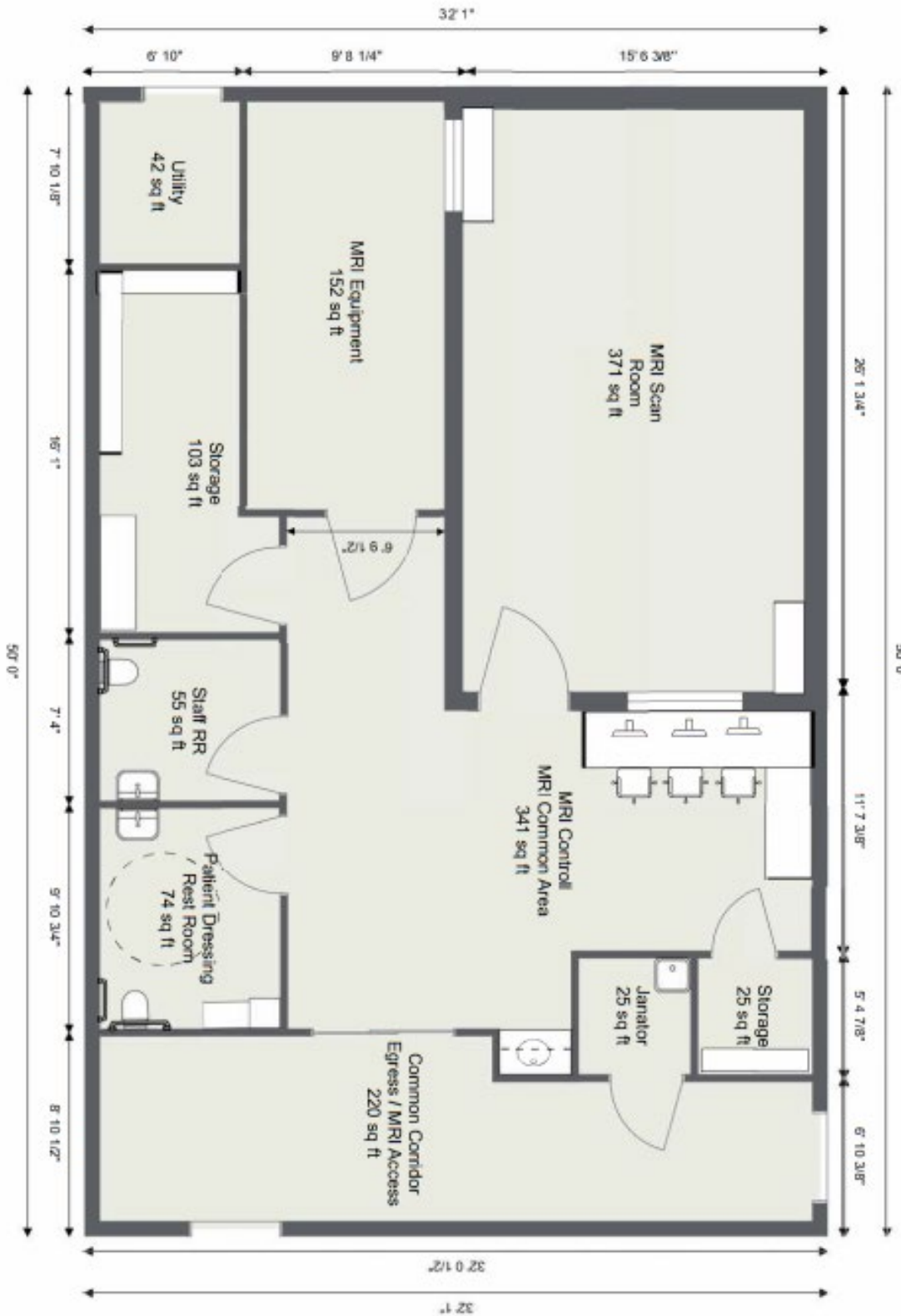
**THIS PRICE IS ROUGH ORDER OF MAGNITUDE ONLY, IT IS FOR THE BUILDING AND SCOPE LISTED. This price excludes any sales or use tax.** Should any additional items or changes be desired or not addressed above, please let me know and we would be happy to provide you with the updated proposal or specific item increase or decrease.

I will follow up with you later next week to answer any questions you may have.

Best regards,

Dean Bartley  
Owner/President

Floor Plan Design Provided Is Reference ONLY. This Plan Is Intended for concept and does not represent the final floor plan.










Architect  
**SKA** SMITH-HASTING ARCHITECTURE  
800 Haight Street  
San Francisco, CA 94117  
Office 415.252.3600

Owner  
  
SONOMA VALLEY HOSPITAL  
HOSPITAL AND WELLNESS CENTER  
SONOMA VALLEY HOSPITAL  
EAST WING  
347 JENSEN STREET  
SONOMA, CA 94969

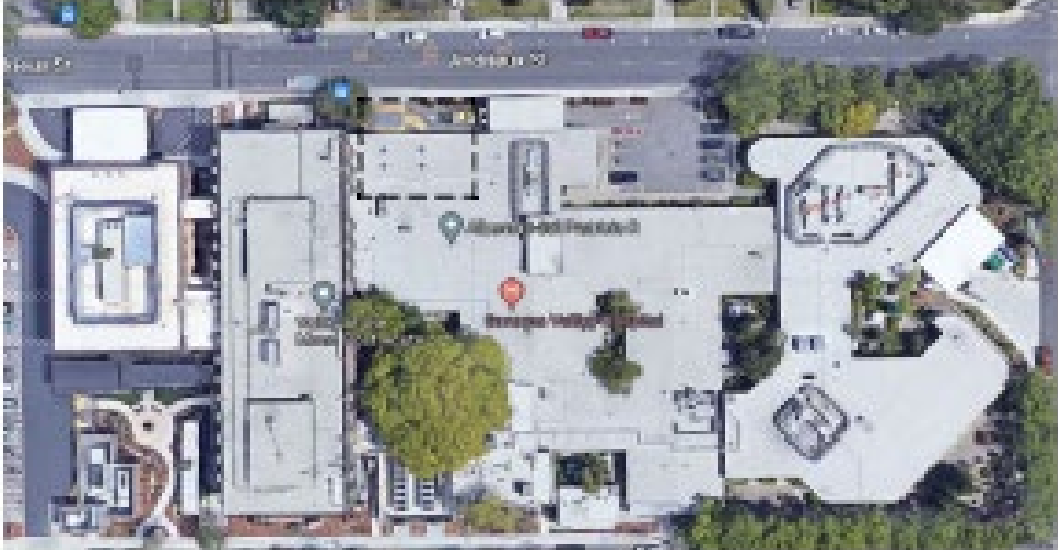
Consultant

**NOT FOR  
CONSTRUCTION**

SKA Project Number  
**22105**

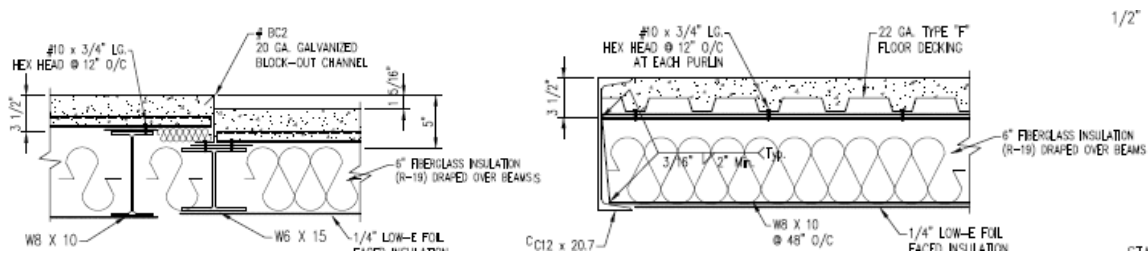
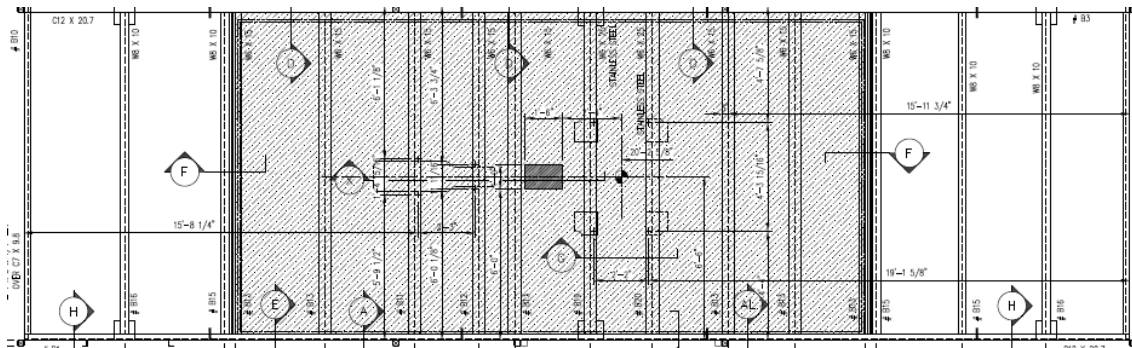
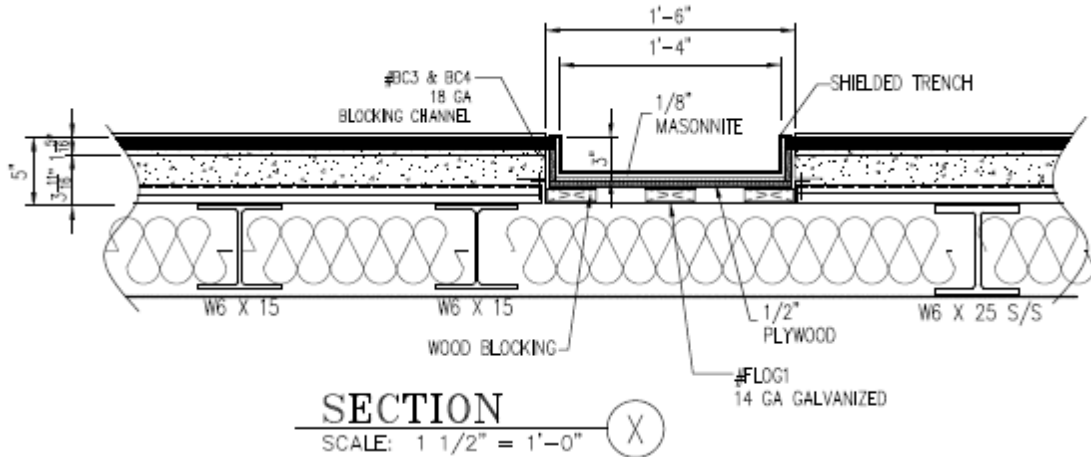


SVHs Proposed Site Locations



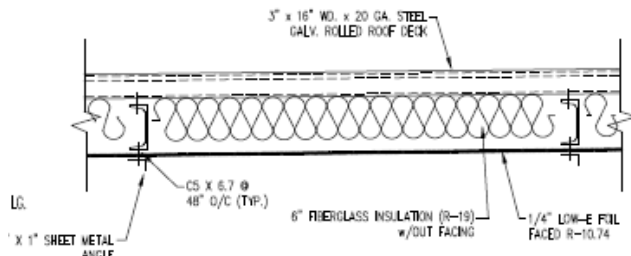
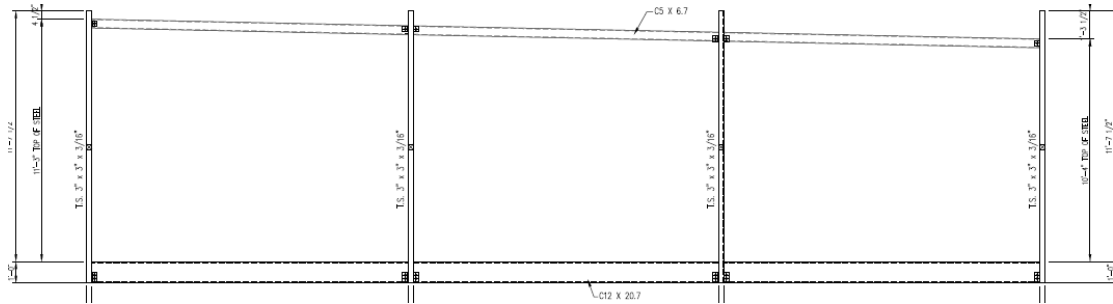
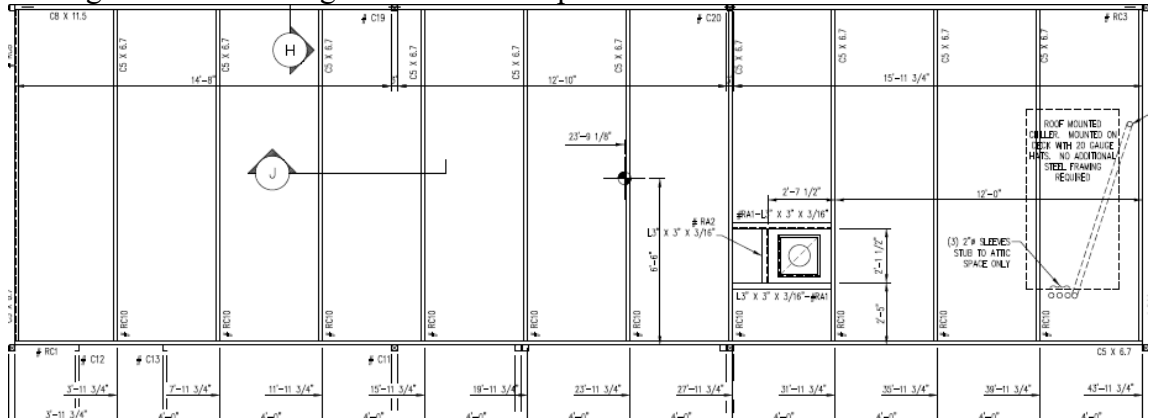
**Typical Structural**

- The floor system will consist of lightweight concrete over steel floor decking over structural steel framing. Scan Room floor joist will be framed with 6" beams, remainder of structure will have 8" floor joist. Scan room floor will have approximately 5" of light weight concrete with approximately 1" of RF shielding. Remainder of building will have 3 3/4" of concrete.



Siemens equipment will not require stainless steel floor joist under Scan Room.

- Roof structural system will consist of Type "A" steel roof deck over structural steel framing. The finished roof system will consist of white mechanically fastened TPO 20yrs roofing materials over rigid insulation and protection board.

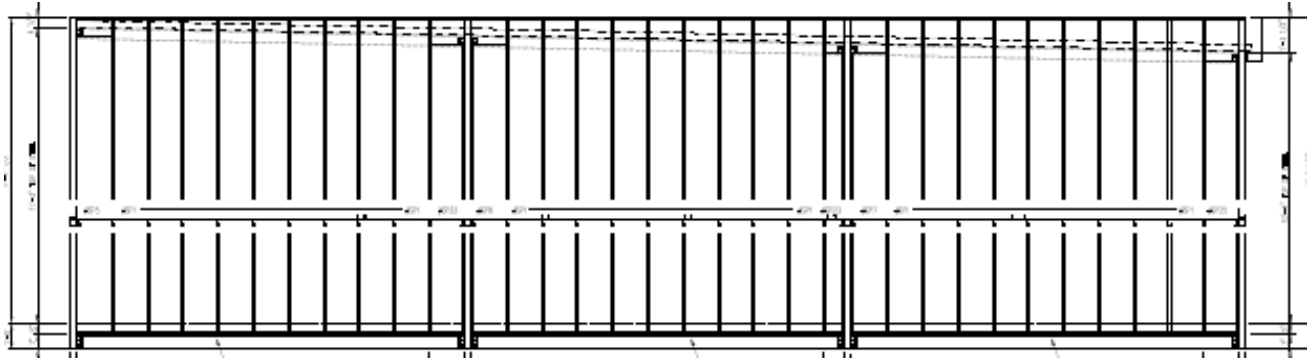


**SECTION**

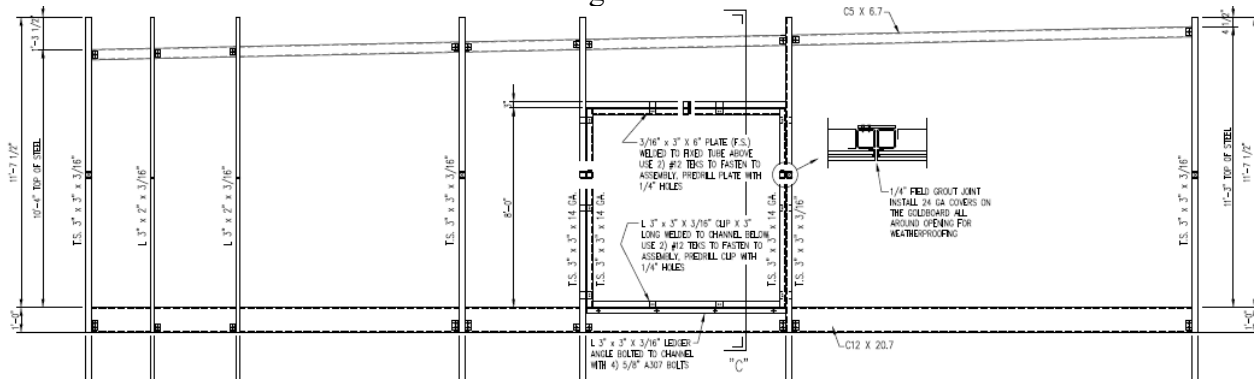
SCALE: 1 1/2" = 1'-0"



3. Exterior and interior wall system will consist of cold formed steel stud framing with structural integral columns.

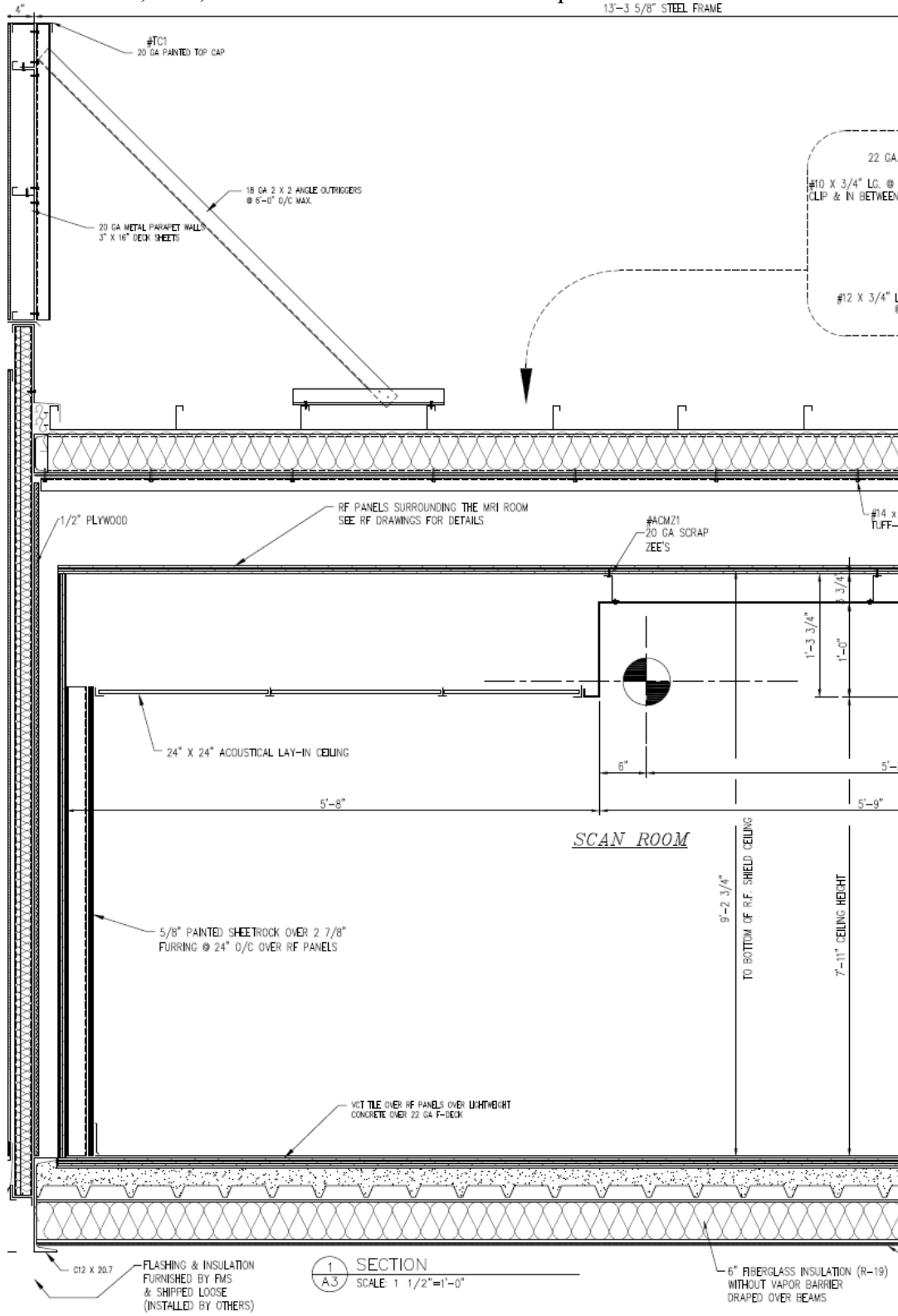


4. Removable exterior wall section for Magnet entrance



- a. Scan Room exterior wall on long side will have an 8'-0" wide x 8'-6" tall removable section for site installation of magnet and for future replacement if required.
  - b. AMS will go back to the site to install the exterior removable wall section after the equipment has been installed.
  - c. The interior framing, RF shielding, drywall and finish paint shall be completed at the Installed and disassembled at the factory and reassemble at the seam lines on site.
5. The roof will drain toward one end of the building and will drain into pre-finished collector heads and drain to grade through pre-finished down spouts.

6. Roof, wall, and floor insulation State of AZ per code.



7. Interior wall finish:
  - a. Scan Room: 5/8" drywall over RF Shielding. RF shielding to be furnished and installed. Drywall will be finished, primed, and painted by AMS per Proposed drawings.
  - b. Restroom: 5/8" moisture resistant drywall. Drywall will be finished, primed, and painted by AMS per Proposed drawings.
  - c. All other rooms: 5/8" drywall. The drywall will be finished, primed, and painted by AMS per proposed drawings.
  - d. Module Lines: Drywall module lines will be finished, primed, and painted by others. AMS will ship paint to the site to make sure the paint will match.
  - e. RF And Magnetic shield as required for the procedure rooms.
  - f. Firewalls, if required, will be determined upon Building Department review and if required will be submitted.
8. Exterior wall finishes:
  - a. Dryvit EIFS standard insulation system over 1/2" Dens Glass Gold sheathing.
  - b. EIFS system will have a sand pebble finish integral color. Color to be determined.
  - c. Pre-finished parapet trim and miscellaneous trims. Color to be chosen from a standard in stock manufacturer's color.
  - d. Faux Brick Wainscot 3ft up from the bottom of frame around the perimeter of the building
9. Sash and glass based upon Proposed drawings.
  - a. Single glazed 3'-3" x 4'-0" double hung non-operational white aluminum windows. The interior side of windows will be blacked out with pre-finished black metal.
  - b. 4'-0" x 3'-0" Scan Room window to be furnished and installed as required.
10. Doors:
  - a. Hollow metal building egress doors with frames and hardware furnished, installed, and finished painted per proposed drawings.
  - b. Interior solid core wood doors with metal frames and hard furnished, installed, frames painted, and doors stained per proposed drawings.
  - c. Scan Room door to be furnished and installed by AMS or its vendors.
11. The finished floor throughout will consist of Armstrong 12" x 12" vinyl composition floor tile with specifications per Proposed drawings. All rooms to have 4" vinyl Johnsonite #80 Faun cove base.
12. Finished ceilings:
  - a. Scan Room: 2' x 2' UGG #560 medium texture square edge ceiling tiles in a 15/16" white aluminum (non-ferrous) grid system. All hanging wire and fasteners to be non-ferrous. Ceiling to be 8'-5" above finish floor. Recessed white ACM ceiling located above the magnet.
  - b. Equipment Room: Open to structure.
  - c. All other rooms: 2' x 2' UGG #560 medium texture square edge ceiling tiles in a 15/16" white grid system. Ceiling to be 8'-0" above finish floor.
13. Accessories furnished and installed:
  - a. Bobrick B-165, 18" x 36" ADA mirror.
  - b. Bobrick B-2730 toilet tissue dispenser.
  - c. Bobrick B-2112 soap dispenser.



- d. Bobrick B-6806, 18", 36" and 42" stainless steel grab bars.
14. Accessories furnished and installed by others at the site: Can be included with a provided spec.
  - a. Paper towel dispensers
  - b. Waste receptacles.
15. AMS furnished and installed laminate casework base upon final Proposed drawings:
  - a. Scan Room: Cabinet with adjustable shelves above and with open shelving below.
  - b. Control Room: Countertop with 4" back splash and support brackets.
16. Bilco S-20 36" x 30" roof hatch with ladder located in the mechanical room.
17. Sealed drawing with structural and energy calculations. Point loads will be provided for footing, design: Footing / foundation design shall be by SVH Architectural Structural.

### **Plumbing**

1. PVC schedule 40 drain, waste and vent system including all under floor horizontal waste lines furnished and installed prior to shipping. *For I occupancy, these items will need to be copper and cast piping.*
2. Pex and Copper potable water supply piping system.
3. The humidifier water supply drain and steam dispersion lines will be copper.
4. AMS furnished and installed equipment.
  - a. Kohler K3427 floor mounted, tank type water closet.
  - b. Wall hung Kohler K-12643-0 lavatory with delta single leaver faucet.
  - c. Eemax tankless water heater #SP3012.
  - d. Hub drains in mechanical room for humidifier condensate.
  - e. Back flow preventer at humidifier.
  - f. Water service gate valve inside building.
  - g. "Y" strainers on incoming water supply line.
5. Potable water line crossover connections if required at module lines to be connected by AMS.
6. Plumbing vents through roof to be extended at the site by AMS.
7. Final connection to water and sewer service and installation of the water meter to be by SVH.
8. The water system will be air tested under pressure at AMS's Plant by AMS prior to the modules being split apart. Any site test that may be required shall be by SVH.

### **Electrical**

1. Proposal is based upon 400 amps, 277-480V, 3-phase electrical system.
2. Equipment furnished and installed by AMS:
  - a. 277-480V, 3-phase I-Line panel located in Mechanical Room
  - b. 120-208V, 3-phase panel located in Mechanical Room
  - c. 300 KVA Transformer 480V 600amp MDP primary\_208Y/120V secondary.
  - d. Emergency power off "EPO" switches with shunt trip breaker.
  - e. Emergency vent switch.
  - f. Air ventilation exhaust fan contactor.
  - g. Wall duct
  - h. Cable tray
3. Equipment furnished and installed:
  - a. RF filter for scan room lighting.



- b. RF filter for scan room outlets.
- c. RF filter for emergency vent switch
4. Equipment furnished and installed by AMS or Others:
  - a. Dedicated MRI equipment cabinet.
  - b. Filter cabinet. By Siemens
  - c. Gradient power supply and transformer cabinet.
  - d. If Required, Supervisory unit switch. DDC communication back to SVH, By SVH
  - e. Patient Observation camera and control box. By others
  - f. Optional RF door switch.
  - g. Any equipment not listed in this proposal.
5. Disconnects as required for roof top equipment.
6. Chiller will be remote from the Component Construction Building. AMS to uncrate and install electrical disconnect located on exterior wall of Component Construction Building, exact location, and amperage info to follow depending upon manufacturer.
7. Lighting package furnished and installed per proposed drawing specifications. Scan Room lights to be MRI Room approved and will operate on LED fixtures with AC current. All lighting will be controlled by motion sensors except for the Scan Room. Scan Room lighting will be controlled by manual switch located in the control room.
8. Any light fixtures that cross module lines will be shipped to site.
9. Power and control wiring hookup to roof top equipment at the site.
10. Receptacles and switches furnished and installed (heavy duty specification grade).
11. Electrical crossover connections at the module lines shall be completed at the site.
12. Final hook-up to electrical service, the meter and main disconnect as required shall be by SVH.
13. Testing of the electrical system shall be completed at Manufactures Plant prior to the modules being separated apart for shipping, the final electrical systems check shall be completed at the site.

### HVAC

1. AMS designed zoned HVAC system furnished and installed.
2. Proposal is based upon 10-tons of HVAC cooling with electric heat.
3. Items furnished and installed by AMS.
  - a. Carrier (or equal) packaged roof top HVAC unit with accessories and options per proposed drawing specifications.
  - b. DDC control system: AMS sub-contractor to test system at the site and offer training to owner.
  - c. HVAC roof curb.
  - d. Insulated ductwork (all duct work in MRI Scan area to be aluminum).
  - e. Duct smoke detector.
  - f. Price white aluminum registers and grills.
  - g. Price white aluminum return air grilles.
  - h. Electric Duct Heaters.
  - i. Restroom Exhaust fan.
  - j. Scan Room emergency exhaust fan.
  - k. Humidifier system.
4. All registers and ducts in the Scan Room to be aluminum.
5. AMS will set HVAC unit and exhaust fan on the roof curbs at the site and secure.
6. The hookup of power wiring and control wiring at the site will be by AMS.

7. Start-up and testing at the site shall be by AMS.

#### **Fire Sprinkler System**

1. Wet pipe fire sprinkler system designed, furnished, and installed.
2. Extent of design shall terminate at 2'-0" above the finish floor in the Equipment Room. Connection from this point and all material not in the confines of the building shall be furnished and installed AMS vendor after receipt of certification from ground and pressure testing.
3. Sprinkler system crossover connections at site and testing included.

#### **Fire Detection and Alarm**

1. Fire detection and alarm system to be furnished and installed by AMS. AMS will furnish and install power wiring and install J-boxes with conduit to top of walls with wire for low voltage back to f/A [anel located in AMS provided building. Connection back to hospital by SVH

#### **Phone, Computer Systems, Data, and other Low Voltage**

1. Phone and Computer systems to be furnished and installed by others. AMS will furnish and install J-boxes with conduit with wire for low voltage.
2. Data / communication outlets and data cable to be furnished and installed by AMS.

<b>SCOPE RESPONSIBILITY</b>				
<b>Description</b>	<b>Scope Details</b>	<b>SVH</b>	<b>AMS</b>	<b>Not Proposed</b>
<b>COMPONENT CONSTRUCTED/ CONVENTIONAL CONSTRUCTION</b>				
<b>Building</b>				
Component Constructed Building Units	Furnish labor and materials per Design Drawings and specification		X	
<b>Transportation</b>				
Transport Component Constructed Units to the Project Site Staging Area	CHP Escorts, Oversize load Transport, Croad closures		X	
Component Construction Units and transport trailer Staging Area	SVH to provide onsite staging area next to site placement	X	X	
<b>Installation</b>				
Component Construction Setup (Crane)	Provide required labor, materials and equipment for craning and placement for the Component Constructed Units onto the Component onto Foundation. Foundation By SVH		X	
Component Construction Setup (Truck support)	Provide required labor, materials and equipment to truck set the Component Constructed Units onto the Component Construction foundation		X	
Component Construction Setup (Trans lift Support)	Provide required labor, materials and equipment to Trans lift set the Component Constructed Units onto the Component Construction foundation		X	
Anchor Component Constructed Units	Provide labor and material to install weld plates per foundation drawing by site foundation contractor. Siemens/AMS to provide loads points and location for plate placement.	X		
Anchor Component Constructed Units	Provide labor and material to weld units to foundation weld plate (installed by site foundation contractor)		X	
Interior/Exterior Seams	Complete all Exterior/Interior mate up Seams Per the Agreed Scope of Work. Floor seams shall be flash patched and sanded to a seamless transition from unit to unit. All interior and exterior seams shall be completed per the drawings and material manufacturer instructions. Once complete the seams shall maintain the "Component Construction envelope".		X	
Roof Vents	Component Constructed Manufacturer shall furnish Shipping material roof vents as required by drawings and applicable code. Installation contractor shall install, flash the vents per drawings and specification. If the vents are power vents an electrical contractor shall wire these units on site		X	
Install HVAC Roof Curbs	The Component Constructed Manufacturer/HVAC supplier shall furnish the curbs for installation on site by the roofing/setup contractor. All flashing and chalking shall be installed be roof material supplier details and drawings to maintain roof warranty		X	
Install Mechanical Crawl Space Vents	Contractor shall furnish and install crawl space vents as required by CA Code	X		

DIVISION 1 GENERAL REQUIREMENTS				
Architecture/Engineering & Testing				
Component Constructed Units Component Construction Drawings	Component Constructed Units shop drawings State 3rd party and DSA approved in accordance with applicable state of AZ and national codes project requirements		X	
Architectural Fees	Architecture of Record, limited to Component Constructed Units furnished by Component Constructed Manufacturer, plan reviews, inspection,	X	X	
Civil Engineering Fees	Site plan including but not limited to existing/proposed grading plan, site development, in accordance with specific codes and project requirements	X		
Structural Engineering Fees - Foundations	Foundation structural drawings in accordance with applicable project and code requirements. Foundation Design by AMS, Foundation Construction furnished by SVH Site contractor.	X	X	
Structural Engineering Fees	Complete structural drawings for the Component Construction units, with foundations loads and load points. Footing, piers, and steam wall foundations by SVH.		X	
Geotechnical Fees	Complete geotechnical testing at site and develop a comprehensive report with recommendations in accordance with applicable codes and project requirements		X	
MEP Engineering Fees	Complete MEP drawings for the Component Construction envelope. Plans and schematics provided by the Component Constructed manufacture. Drawings shall be in accordance with applicable codes and project requirements		X	
Surveying	Complete site survey, site layout and foundations elevations	X		
SWPPP Planning/Design	Provide a complete SWPPP plan and details for work necessary prior, during and after proposed construction. All plans and details shall be in accordance with applicable codes	X		
Soil Testing	Provide soil testing services during construction as required	X		
Concrete Testing	Provide labor and materials to complete slump and compressive testing in accordance with code and project requirements by SVH	X		
Building Commission	As required by SVH/Siemens/AMS/ Building Contractors, city of Duarte	X	X	
Licensing Of the Facility	SVH Hired Consultants with support from Building Contractors as required.	X		
Permits, Fees, Bonds, Labor				
Component Construction Permits DSA CA 3rd party	Component Constructed Units 3rd party only, Included in Building Price		X	
Site Permit	SVH	X		
Foundation Permit	SVH	X		
Electrical Permit	SVH	X		
Plumbing Permit	SVH	X		
Fire Suppression/FA Permit Included in F/A price	Contractor to Pull Permit	X		
HVAC Permit	SVH	X		
Liquidated Damages				
Sales Tax	SVH	X		
Open Shop	Non-Union / Non-Prevailing		X	

Union Wage	Not proposed			X
<b>Temporary Labor &amp; Facilities</b>				
Site Clean Up Labor	For clean-up of Advanced Medical Space scope of work and debris only		X	
Component Construction Clean Up Labor	For clean-up of Advanced Medical Space scope debris only		X	
Final Component Construction Cleaning & Polish	Construction Clean building		X	
Site Construction Offices	On Site Full Time AMS PM during installation of AMS scope of work		X	
Deliver Component Constructed Units Construction Buildings	Delivery from Manufacture to site location		X	
Install Component Constructed Units Construction Buildings	Materials and labor to block, level, anchor as required		X	
Dumpsters	Construction Debre from Modular building only		X	
Portable Restroom Stalls	SVH Site Contractor to supply necessary number of portable rest room	X		
Portable Hand wash Stations	SVH site contractor provided	X		
<b>Equipment</b>				
Lull Rental w/ Fuel	For Advanced Medical Space scope of work only		X	
Bobcat Rental w/Fuel	For Advanced Medical Space scope of work only		X	
Crane Rental	For Advanced Medical Space scope of work only		X	
Temporary Power for Construction	As Needed until Temporary Power is hooked up		X	
<b>Safety &amp; PPE</b>				
Fire Extinguishers for Construction	Located in the Component Constructed Units construction office, at each generator location and at each exit in the proposed Component Construction during construction		X	
Safety Signage	Including but not limited to construction, wage, safety signage. Also includes a site MSDS and safety manuals			
Personal Protective Equipment	Including but not limited to hardhats, eye protection, safety vests. All workers shall be properly equipped by their company per OSHA		X	
First Aid Kits	Appropriate size first aid kits located in the construction trailer and at each Component Construction exit in the proposed Component Construction to be constructed		X	
Potable Drinking Water	Potable drinking water with individual drinking cups to be provided in the construction trailer and at each proposed Component Construction to be constructed		X	
Eye Wash Kits	SVH site contractor to provide adequate facilities		X	
<b>Site Controls &amp; Utilities</b>				
Construction Fencing	6' Chain link construction fence with a minimum of (1) locked double gate and Black out screen	X		
Soil Erosion & Storm Water Control	Furnish labor and materials to install soil erosion and storm water control in the site location only, per code.	X		
Temporary Heat If required will be done on a cost + basis	Labor and Materials to provide temporary heat during construction. Includes heaters, fuel and 24 hour dedicated watchperson	X		
Temporary Lighting	Labor and material to string temporary lighting in the proposed building(s) to be constructed in accordance with Local codes		X	
Temporary Power	Power poles shall be used for tools and temporary lighting.	X		

Construction Wash out area	SVH site contractor to provide as required		X	
<b>Construction Office Supplies</b>				
Printers, Computers, Air Cards & Phones	As Applicable for AMS Scope		X	
Office Supplies	As Applicable for AMS Scope		X	
Copy Services	As Applicable for AMS Scope		X	
<b>Project Management</b>				
Project Manager/Site Supervision	Component Constructed Units Only. Siemens/Advanced Medical Space Project Manager has overall responsibility for component portion and scheduling with Siemens Equipment.		X	
Quality Control	Siemens. Advanced Medical Space will make frequent visits to the component manufacture facility to inspect work, check quality and ensure standards are being met		X	
Safety Manager	It is the responsibility for all Project team members to work safely to follow OSHA minimum standards, Identify any unsafe conditions. Dedicated Safety officer by SVH if required		X	
Factory Inspector	Advanced Medical Space's Factory Inspector will periodically inspect the Component Constructed Units Component Construction at the factory.		X	
Site Security	Standard security watch for SVH locations. Siemens/AMS will not have a dedicated site security officer.	X	x	
Const Admin	As Required for project support		X	
<b>Submittals &amp; Plans</b>				
Operation & Maintenance Manuals	Component Constructed Units Only, Advanced Medical Space will turn over to the client all O&M manuals in a binder and tabbed following the completion of the project		X	
Closeout Submittals	Advanced Medical Space will submit to the client all necessary closeout documents. as-built drawings, certifications, as required.		X	
Warranty	Component Constructed building will carry a 1 yr. labor and material warranty, after that the OEM manufactures warranty will apply		X	
Component Construction and Equipment Training	All Advanced Medical Space Subcontractors and Manufacturer shall provide to the client the necessary on-site training for the operation.		X	
<b>DIVISION 2 SITE CONSTRUCTION</b>				
Site Clearing Included in Site Demo	Per civil drawings	X		
Site Demo Included in Site Clearing	Per civil drawings	X		
Stockpile Material and Haul off over burden	Per civil drawings	X		
On site cut Included in Site Clearing/Site Demo	Per civil drawings	X		
Traffic Maintenance	Construction Traffic Only		X	
Site Preparation for Asphalt	Per civil drawings	X		
Storm Drainage	Per civil drawings	X		
Rough Grading	Per civil drawings	X		
Final Grading	Per civil drawings	X		
Topsoil Included In Landscaping Option	Included In Landscaping Option	X		
Landscaping See Option Pricing Per SVH Architect	See Option pricing	X		
Site ADA Compliance Component Construction only	Component Constructed Units Component Construction Only	X		
Asphalt	Approx 10,000 SQFT	X		
Irrigation	In Landscape pricing See Option Pricing	X		

Stripping and signage	Per civil drawings	X		
Site Testing and inspections	As required	X		
Mobilization	Component Constructed Units scope portion only		X	
Site Work layouts	SVH to provide a space for laydown for installation of the modular inputs	X		
Sub grade Included In Site Work Price	SVH to ensure subgrades are sufficient and support all work and building placement	X		
<b>DIVISION 3 CONCRETE</b>				
<b>Foundations</b>				
Foundation and Footing Layout	Per Engineered Project Drawings	X		
Foundation Excavation, Backfill and Compaction	Per Engineered Project Drawings	X		
Foundation Forming Installation	Per Engineered Project Drawings	X		
Foundation, Footing, Piers, Equipment Pads, Steel Reinforcing Including Embed Plates	Per Engineered Project Drawings	X		
Concrete Augured Footings	Per Engineered Project Drawings	X		
Concrete Piers Support Piers	Per Engineered Project Drawings	X		
<b>Slabs, Sidewalks, Pads and Curbs</b>				
4" Concrete Sidewalks, Concrete ADA ramps, an Employee Break area Concrete as noted on HLA Schematic Drawing	Per Schematic Landscape Architect by SVH and Building Architectural an Civil Drawings	X		
6" Concrete Slab with Turndown Foundation for Siemens Chiller	Topsoil shall be removed to a depth as outlined by the designing engineer. Slab final grade shall be leveled and compacted per drawings. Contractor shall furnish and install materials per design including inspections. All forms and debris shall be removed once concrete has cured.	X		
Concrete Chiller Pad	Per Engineered and Architectural Drawings	X		
Concrete Curbs	Per Engineered and Architectural Drawings	X		
<b>DIVISION 4 MASONRY</b>				
Brick Veneer	Faux thin brick panel wainscot as depicted bottom 3ft		X	
<b>DIVISION 5 METALS</b>				
Steel Embed plate for Foundations	Per drawings and spec	X		
Double Galvanized free standing RF MRI shield	RF Shield		X	
Magnetic Shield for MRI Scan room	Magnetic Shielding (cost increase do to building growth adding additional shielding, cost is included in Shielding line-item pricing)		X	
MRI Stainless Steele Quench pipe per Siemens drawings	Provide Labor, material and installation to provide and install quench pipe for FMRI		X	
Aluminum canopies of fake façade windows (2)	Supply and install (2) 4x4 aluminum canopy's over fake façade windows		X	
<b>DIVISION 6 WOODS AND PLASTICS</b>				
Cabinets and counter tops	HPL cabinets and counter, color selection from manufactures standard selection per drawings		X	
Pin Panel Coil storage cabinet	Pin Panel Cabinet		X	
Locker in RR/Change room	Locker		X	
<b>DIVISION 7 THERMAL AND MOISTURE PROTECTION</b>				
White EPDM Roofing	Component Constructed Manufacturer shall furnish and install White EPDM roof. Component Constructed Manufacturer Shall Ship and install the necessary roofing, Parapets. The Installation team will complete the roof seam. All work shall be installed in accordance with OEM specs to maintain warranty		X	

Siding Panels EIFS	Contractor shall furnish all materials, labor and equipment to install finishes per OEM specification. (See option increase for decorative add portion)		X	
Gutter/Downspouts	Furnish and install continuous gutters and downspouts to grade		X	
Scuppers/Downspouts	Furnish and install scuppers and downspouts to grade		X	
Vapor Barrier in Crawl Space	Furnish and install 6Mil plastic vapor barrier with a minimum 12" overlap and seams taped.	X		
<b>DIVISION 8 WINDOWS AND DOORS</b>				
Exterior Metal Doors and Frames	Component Construction Manufacturer shall furnish, install all doors, frames and hardware.		X	
Storefront Doors and Frames	Component Construction Manufacturer shall furnish install all doors, frames, and hardware.		X	
Storefront Windows	Component Construction Manufacturer shall furnish and install storefront frames, glazing and hardware.		X	
MRI RF door	Labor and material to install MRI Knife fit seals scan room door			
MRI RF viewing window	Labor and Material to install all RF lined door and windows			
Addition Security Door Hardware and upgraded hardware.	AMS will supply devices, Wiring of magnet lock card key access by SVH contractor	X	X	
Construction Cores	The Component Constructed Manufacturer shall provide all door hardware with construction cores.		X	
Master Key System	Master Keying Shall be Furnish and Installed. Keying is by SVH	X		
<b>DIVISION 9 FINISHES</b>				
Vinyl Composition Tile and Carpet per Drawings and Spec, Including all floor patching and sealers	Component Constructed Manufacturer shall furnish and install vinyl tile per the applicable specifications. As noted in the design drawings. Manufacturer shall furnish and install vinyl tile per the applicable specifications. As noted in the design drawings		X	
Tape, Spackle, Prime and Paint Wall Finish	Component Constructed Manufacturer shall furnish, install and finish gypsum per applicable Component Construction specifications.		X	
Suspended Ceiling	Component Constructed Manufacturer shall furnish, install suspended ceiling per applicable Component Construction specifications.		X	
Floor Cove Base	Component Constructed Manufacturer shall furnish and install cove base per applicable specifications. Per the design drawings		X	
Paint exterior Doors and frames	Component Constructed Manufacturer shall paint exterior doors and frame per applicable specifications. Per the design drawings Any necessary touchup shall be completed after equipment installation.		X	
Exterior Siding and Trim Painting	Stucco to be chosen from standard Spec color sheet, Furnish all labor and materials per the design documents. See option price for increased cost for the Decorative design added by SVH not in the original budget proposal		X	
Paint Exterior Steel Handrails	labor and materials to paint exterior steel rails shall be by the designated contractor on-site. Per the design drawings	X		X
<b>DIVISION 10 SPECIALITIES</b>				
Lockers	Component Constructed Manufacturer shall furnish and install lockers per applicable Component Construction specifications.		X	



Fire Extinguishers	Component Constructed Manufacturer shall furnish and install fire extinguishers per applicable code specifications.		X	
Interior Signage/Exterior Signage	SVH shall furnish and install interior signage where applicable for convenience use. See option price for contractor to install all convenience signage.	X		
Code Interior Signage	labor and materials to supply and install interior code signage shall be by the designated contractor on-site.		X	
<b>DIVISION 11 EQUIPMENT</b>				
MRI Chiller	MRI Chiller			X
Chiller installation	AMS will Accept, Un Box, Place the chiller. Piping Insulation, Fill with Glycol by SVH Contractor	X		
Medical Equipment	Siemens MRI, Chiller start up	X		
All other research equipment	All owner furnished radiation or research equipment	X		
Bike Rack	If Applicable	X		
<b>DIVISION 12 FURNISHINGS</b>				
Desks	Shall be Purchased, Delivered, Accepted, Installed and all debris removed by owner	X		
Desk Chairs	Shall be Purchased, Delivered, Accepted, Installed and all debris removed by owner	X		
Television	Shall be Purchased, Delivered, Accepted, Installed and all debris removed by owner	X		
Conference Tables and chairs	Shall be Purchased, Delivered, Accepted, Installed and all debris removed by owner			
Office furniture and FFE	Shall be Purchased, Delivered, Accepted, Installed and all debris removed by owner	X		
File Cabinets	Shall be Purchased, Delivered, Accepted, Installed and all debris removed by owner	X		
<b>DIVISION 13 MODULAR/COMPONENT CONSTRUCTED</b>				
Additional Installation Items	Siemens/AMS Component Constructed Units On Site Building finish Scope		X	
Paint	Siemens/AMS Component Constructed Units On Site Building finish Scope			
HVAC	Siemens/AMS Component Constructed Units On Site Building finish Scope		X	
Fire Sprinkler	AMS Component Constructed Units will consist of Steele pipe in all areas except the scan room, this will be HPPVC Pipe and heads only. Riser and back flow and flow switches are by Others		X	
Electrical	AMS Component Constructed Building, MDP, Cross overs, wiring of Siemens equipment in the equipment room only for main electrical power. AMS MDP, Power from AMS disconnect to Chiller. Site parking lot lighting, Power to any SVH provided equipment is by SVH site contractor.		X	
Plumbing	AMS Component Constructed Building, cross connection inside of the building. All under floor manifolding and connection to utility.		X	
Windows	Siemens/AMS Component Constructed Units On Site Building finish Scope		X	
Doors	Siemens/AMS Component Constructed Units On Site Building finish Scope		X	
Cabinets	Siemens/AMS Component Constructed Units On Site Building finish Scope		X	
Drywall	Siemens/AMS Component Constructed Units On Site Building finish Scope		X	
Parapets	Siemens/AMS Component Constructed Units On Site Building finish Scope		X	

<b>DIVISION 14 CONVEYING SYSTEMS</b>				
NONE	Not Proposed or Included in this Scope of Work			
<b>DIVISION 15 MECHANICAL</b>				
<b>Plumbing - Water</b>				
Plumbing Water Service - Site	Domestic Water Service	X		X
Plumbing Water Service - Manifolding	Provide labor, materials, and equipment to manifold all plumbing water lines located below each fixture to a single point and connect to the main water service stub located in the proposed Component Construction crawl space for the project. All work shall be in accordance with applicable codes and includes layout, piping, fittings, valves, hangers, etc.	X		
Plumbing Water Crossover Connections at the Mate line	Component Constructed Manufacturer shall furnish all install all water lines to each fixture as required by code. The Component Constructed Manufacturer shall terminate water piping at the seam line between units. Advanced Medical Space's plumbing contractor shall provide the labor and materials to complete the water line connection at the connection point between units.		X	
MRI Quench Pipe Insulation	Furnish and Install Quench Pipe insulation		X	
Plumbing Water Backflow Preventer and meter	Furnish and Install plumbing backflow as required by code	X		X
Plumbing Water Pressure Relief Value	If Applicable	X		X
<b>Plumbing - Sanitary Sewer</b>				
Plumbing Sanitary Sewer Service - Complete inside Component Constructed Units building	Storm Drain line:		X	
Plumbing Sanitary Sewer Service	Sanitary Sewer Line: (Excavation and backfill included) 1- Tie into existing Sewer mainline. 1- Direction Clean out.	X		
<b>Fire Suppression</b>				
Fire Sprinkler -Building	Component Constructed Manufacturer shall design, furnish and install a complete fire sprinkler system per specifications. Work shall include all piping, heads, Alarms, risers, backflow preventers. Component Construction Manufacture fire sprinkler will terminate to a riser flange 1'-0" AFF. Connection to existing fire water service by SVH	X	X	
Fire Sprinkler - Site	Site Fire Sprinkler contractor shall design, furnish and install a complete fire sprinkler line to balding system per applicable code. Fire sprinkler service line shall terminate to the riser flange 1'-0" AFF for complete connection to existing fire water service		X	
Fire Sprinkler Main Service Line	Fire Line: (S.S. Fire riser removed, excavation and backfill included) ^ in Hot Tap, 4in Hot Tap, Install New Fire Hydrant, supply and install 6 in Gate Valve, Supple and Install 4in Gate valve, Thrust Block, 6in C-900 pipe, 4 in C-900 pipe	X		
<b>Heating, Ventilation and Air Conditioning</b>				
HVAC Duct Drops and Diffusers	Component Constructed Manufacturer shall install all ductwork and drops and diffusers and secure to the sub ceiling.		X	

HVAC Install Roof Mounts	The Component Constructed Manufacturer/HVAC supplier shall furnish and install curbs and all flashing. HVAC units shall be setup on curb by the installation contractor. The HVAC contractor shall connect all ductwork, thermostat wiring, DDC controls and test HVAC unit(s) for proper operation		X	
Change HVAC Filters for Turnover	Change HVAC filters as part of final closeout and turnover to the client		X	
Test and Balance HVAC Units	Test HVAC units for proper operation. Provide certified balance report		X	
Direct Digital Control by Global Control	Fully functioning hvac automated monitoring system,		X	
Interface Panel Not In Original Proposal, See Option	Supply and install a building interface panel so the global controls system will talk with the on site Siemens Building Management System.		X	
<b>DIVISION 16 ELECTRICAL</b>				
Electrical Service Distribution	Complete electrical service from existing power source to the proposed building. Includes, excavation, conduit, wire, transformers, disconnects, switchgear, inspections and tie-ins. Existing source to be on the proposed building site within 5ft of the building connection point	X	X	
Electrical Service - Connect to SVH provided coiled up wire to be located approx. 5 lft from the Building footprint with enough wire to tie to the modular MDP	Complete electrical service in the proposed Component Construction Units. Main Distribution Panel (MDP) or disconnect installed in or on the proposed building. Excludes, excavation, conduit, wire, disconnects, switchgear, inspections, and tie-ins.		X	
Building Electrical factory scope	Main portion of the electrical system scope at the factory.		X	
<b>Electrical Site</b>				
Exterior Site Area Lighting	Exterior Site Lighting is the lighting on the building only, at the doors per code. Any other site area light not included		X	
Electrical Home run feeder to Equipment	Per Drawings and specification Once designed by Owner Site designers		X	
Grounding	Per Drawings and specification Once designed by Owner Site designers		X	
Medical equipment Device wiring	This proposal includes device wiring to the siemens provided equipment only, It does not make any allowances for owner furnished item, regular or low voltage wiring.		X	
Building Lightning Protection	If Applicable, there is no physical site lightening included in this proposal.	X		
Site Lighting Branch for parking area if required.	If Applicable, there is no physical site parking lighting included in this proposal.	X		
<b>Electrical Building</b>				
Install Exterior Lights	Component Constructed Manufacturer shall provide the materials for the specified lights, at egress locations		X	
LED lighting in common area,	Component Constructed Manufacturer shall prewire the lay-in troffer lights. Any labor, tools, permits, fees to drop the lights into the suspended ceiling grid is the responsibility of Advanced Medical Space's electrical contractor.		X	
Install Exhaust Fans	Component Constructed Manufacturer shall provide the materials for the specified exhaust fans. Any labor, tools, permits, fees to install the Ship loose light is the responsibility of Advanced Medical Space's electrical contractor.		X	
Install Exit/Emergency Lights	Component Constructed Manufacturer shall provide the materials for the specified exit and emergency lights. .		X	

Wire Roof Mount HVAC Units (Power)	Advanced Medical Space electrical contractor shall furnish all labor and materials to wire the HVAC units from the designated electrical panel to the RTU.		X	
Wire Roof Mount HVAC Units (Low Voltage)	Furnish all labor and materials to wire and install HVAC Thermostats. Component Constructed Manufacturer to furnish HVAC thermostats for installation and testing by Advanced Medical Space electrical contractor.		X	
Electrical Crossover at seam line	Component Constructed Manufacturer shall furnish all install all branch circuits from the individual devices and terminate at the seam lines wired in a junction box as required by code.		X	
<b>Telephone, Data, Television, Nurse Call</b>				
Telephone - Boxes and Conduits	Component Construction manufacturer shall furnish and install an individual device box in the wall with a 1" conduit stub and pull string located above the ceiling.		X	
Telephone	Labor and Materials to complete the conduit from the Component Constructed Manufacturer stub, the wiring, device installation and testing the system to complete the system.	X		X
Data - Boxes and Conduits	Component Constructed Manufacturer shall furnish and install an individual device box in the wall with a 1" conduit stub and pull string located above the ceiling. Connection to existing by SVH		X	
Data	Component Constructed Manufacturer shall furnish and install an individual device box in the wall with a 1" conduit stub and pull string located above the ceiling. Connection to existing by SVH	X		X
Cable - Boxes and Conduits	Component Constructed Manufacturer shall furnish and install an individual device box in the wall with a 1" conduit stub and pull string located above the ceiling. Connection to existing by SVH		X	
Cable Television	Labor and Materials to complete the conduit from the Component Constructed Manufacturer stub, the wiring, device installation and testing the system to complete the system.	X		X
Nurse Call Code Blue	Conduits, Back Boxes with Pull Wire		X	
Nurse Call Code Blue	Component Constructed Manufacturer shall furnish and install an individual device box in the wall with a 1" conduit stub and pull string located above the ceiling. Connection to existing by SVH	X		X
<b>Security</b>				
Key Card Access System - Boxes and Conduit Stub	Component Constructed Manufacturer shall furnish and install an individual device box in the wall with a 1" conduit stub and pull string located above the ceiling.		X	
Key Card Access System	Labor and Materials to complete the conduit from the Component Constructed Manufacturer stub, the wiring, device installation and testing the system to complete the system. Programming by SVH	X		X
Security Alarm - Boxes and Conduit Stub	Component Constructed Manufacturer shall furnish and install an individual device box in the wall with a 1" conduit stub and pull string located above the ceiling.		X	
Security Alarm	Labor and Materials to complete the conduit from the Component Constructed Manufacturer stub, the wiring, device installation and testing the system to complete the system. Programming connection to existing by SVH	X		X

CCTV - Boxes and Conduit Stub	Component Constructed Manufacturer shall furnish and install an individual device box in the wall with a 1" conduit stub and pull string located above the ceiling.		X	
CCTV	Labor and Materials to complete the conduit from the Component Constructed Manufacturer stub, the wiring, device installation and testing the system to complete the system.	X		X
<b>Public Address, Notification System</b>				
Clocks	Labor and Materials to furnish, install and test a complete mass notification system.	X		
Public Address	Labor and Materials to furnish, install and test a complete public address system.	X		
<b>Fire Alarm</b>				
Fire Alarm - Boxes and Conduit	Component Constructed Manufacturer shall furnish and install an individual device box in the wall with a 1" conduit stub and pull string located above the ceiling.		X	
Fire Alarm	Component Constructed Manufacturer shall furnish and install an individual device box in the wall with a 1" conduit stub and pull string located above the ceiling. Connection to existing by SVH	X		X
Fire Alarm - Addressable	Provide all labor, materials, testing and inspections to install a complete addressable fire alarm system. Connection to existing system and programming by SVH	X		
Flow Alarm for Fire Sprinkler	Connect Fire Sprinkler Flow Alarm to the Fire Alarm As Required	X		

### Project Schedule Overview in Weeks' Timeline

Weeks 1 to 2	Schematic Design Complete Drawings
Weeks 3 to 4	Schematic Design Drawing approvals
Weeks 5 to 8	Design Document Drawings
Weeks 9 to 10	SVH Design Document Drawing Approvals
Weeks 10 to 12	Submit to State Agency's
Weeks 10 to 24	Fabrication Component Units, SVH Initiate site const.
Weeks 24 to 28	Ship, set, receive equipment complete finishes.

Schedule items will be running concurrently, such as State approval and fabrication, the total project duration can be executed in 26 weeks from Point of P.O. Once detailed drawing is completed, a working schedule will be issues.

Contractor, Equipment Provider and Owner will evaluate the proposed timeline requirements for this project. Upon confirmation of this project timeline, a complete schedule and plan to accomplish the scope of work will be developed and agreed to by all parties. The project management team will combine all design documents information into a single plan defining the project duration, method of operations as well as the work required to complete the project.

### Budgetary Pricing Summary

DESCRIPTION	SVH			
	SELLING PRICE	BOND	TAX	TOTAL
<b>Building</b>				
Component Constructed Building Units	\$ 1,575,000.00	\$0.00		\$ 1,575,000.00
<b>TOTAL BUILDING</b>	<b>\$ 1,575,000.00</b>			<b>\$ 1,575,000.00</b>
<b>Transportation</b>				
Transport Component Constructed Units to the Project Site Staging Area	\$ 36,750.00	\$0.00		\$ 36,750.00
Component Construction Units and transport trailer Staging Area	\$ -	\$0.00		\$ -
<b>TOTAL TRANSPORTATION</b>	<b>\$ 36,750.00</b>			<b>\$ 36,750.00</b>
<b>Installation</b>				
Component Construction Setup (Crane)	\$ 78,750.00	\$0.00		\$ 78,750.00
Component Construction Setup (Truck support)	\$ -	\$0.00		\$ -
Component Construction Setup (Trans lift Support)	\$ -	\$0.00		\$ -
Anchor Component Constructed Units	\$ -	\$0.00		\$ -
Interior/Exterior Seams	\$ -	\$0.00		\$ -
Roof Vents	\$ -	\$0.00		\$ -
Install HVAC Roof Curbs	\$ -	\$0.00		\$ -
Install Mechanical Crawl Space Vents	\$ -	\$0.00		\$ -
<b>TOTAL INSTALLATION</b>	<b>\$ 78,750.00</b>			<b>\$ 78,750.00</b>
<b>TOTAL DIVISION 0: BUILDING, TRANSPORTATION AND INSTALLATION</b>				
	<b>\$ 1,690,500.00</b>			<b>\$ 1,690,500.00</b>
<b>DIVISION 1 GENERAL REQUIREMENTS</b>				
<b>Architecture/Engineering &amp; Testing</b>				
Component Constructed Units Component Construction Drawings	\$ 85,312.50	\$0.00		\$ 85,312.50
Architectural Fees	\$ 45,937.50	\$0.00		\$ 45,937.50
Civil Engineering Fees	\$ -	\$0.00		\$ -
Structural Engineering Fees - Foundations	\$ -	\$0.00		\$ -
Structural Engineering Fees	\$ 4,593.75	\$0.00		\$ 4,593.75
Geotechnical Fees	\$ -	\$0.00		\$ -
MEP Engineering Fees	\$ -	\$0.00		\$ -
Transportation Route Surveying	\$ 4,593.75	\$0.00		\$ 4,593.75
SWPPP Planning/Design	\$ -	\$0.00		\$ -
Soil Testing	\$ -	\$0.00		\$ -
Concrete Testing	\$ -	\$0.00		\$ -
Building Commission	\$ 7,875.00	\$0.00		\$ 7,875.00
Licensing Of the Facility	\$ -	\$0.00		\$ -
<b>TOTAL ARCHITECTURE, ENGINEERING &amp; TESTING</b>	<b>\$ 148,312.50</b>			<b>\$ 148,312.50</b>
<b>Permits, Fees, Bonds, Labor</b>				
Component Construction Permits DSA CA 3rd party	\$ 3,281.25	\$0.00		\$ 3,281.25

Site Permit	\$	-	\$0.00	\$	-
Foundation Permit	\$	-	\$0.00	\$	-
Electrical Permit	\$	-	\$0.00	\$	-
Plumbing Permit	\$	-	\$0.00	\$	-
Fire Suppression/FA Permit Included in Building Price	\$	-	\$0.00	\$	-
HVAC Permit	\$	-	\$0.00	\$	-
Liquidated Damages	\$	-	\$0.00	\$	-
Sales Tax	\$	-	\$0.00	\$	-
Open Shop	\$	-	\$0.00	\$	-
Union Wage	\$	-	\$0.00	\$	-
<b>TOTAL PERMITS, FEES &amp; BONDS</b>	<b>\$</b>	<b>3,281.25</b>		<b>\$</b>	<b>3,281.25</b>
<b>Temporary Labor &amp; Facilities</b>					
Site Clean Up Labor	\$	27,562.50	\$0.00	\$	27,562.50
Component Construction Clean Up Labor	\$	27,562.50	\$0.00	\$	27,562.50
Final Component Construction Cleaning & Polish	\$	1,260.00	\$0.00	\$	1,260.00
Site Construction Offices	\$	4,200.00	\$0.00	\$	4,200.00
Storage Containers	\$	-	\$0.00	\$	-
Deliver Component Constructed Units Construction Buildings	\$	-	\$0.00	\$	-
Install Component Constructed Units Construction Buildings	\$	-	\$0.00	\$	-
Dumpsters	\$	19,687.50	\$0.00	\$	19,687.50
Portable Restroom Stalls	\$	787.50	\$0.00	\$	787.50
Portable Hand wash Stations	\$	-	\$0.00	\$	-
<b>TOTAL TEMPORARY LABOR &amp; FACILITIES</b>	<b>\$</b>	<b>81,060.00</b>		<b>\$</b>	<b>81,060.00</b>
<b>Equipment</b>					
Lull Rental w/ Fuel	\$	5,906.25	\$0.00	\$	5,906.25
Bobcat Rental w/Fuel	\$	3,937.50	\$0.00	\$	3,937.50
Crane Rental	\$	42,000.00	\$0.00	\$	42,000.00
Temporary Power for Construction	\$	-	\$0.00	\$	-
<b>TOTAL EQUIPMENT</b>	<b>\$</b>	<b>51,843.75</b>		<b>\$</b>	<b>51,843.75</b>
<b>Safety &amp; PPE</b>					
Fire Extinguishers for Construction	\$	196.88	\$0.00	\$	196.88
Safety Signage	\$	492.19	\$0.00	\$	492.19
Personal Protective Equipment	\$	420.00	\$0.00	\$	420.00
First Aid Kits	\$	52.50	\$0.00	\$	52.50
Potable Drinking Water	\$	131.25	\$0.00	\$	131.25
Eye Wash Kits	\$	328.13	\$0.00	\$	328.13
<b>TOTAL SAFETY &amp; PPE</b>	<b>\$</b>	<b>1,620.94</b>		<b>\$</b>	<b>1,620.94</b>
<b>Site Controls &amp; Utilities</b>					
Construction Fencing	\$	-	\$0.00	\$	-
Soil Erosion & Storm Water Control	\$	-	\$0.00	\$	-
Electrical Connections/Construction Office	\$	-	\$0.00	\$	-
Temporary Heat If required will be done on a cost + basis	\$	-	\$0.00	\$	-



Temporary Lighting	\$	393.75	\$0.00	\$	393.75
Temporary Power	\$	525.00	\$0.00	\$	525.00
Subsurface Dewatering If required will be done on a cost + basis	\$	-	\$0.00	\$	-
Rock/Debris Excavation As Identified per contract size	\$	-	\$0.00	\$	-
Construction Wash out area	\$	-	\$0.00	\$	-
<b>TOTAL SITE CONTROLS &amp; UTILITIES</b>	<b>\$</b>	<b>918.75</b>		<b>\$</b>	<b>918.75</b>
<b>Construction Office Supplies</b>					
Printers, Computers, Air Cards & Phones	\$	131.25	\$0.00	\$	131.25
Office Supplies	\$	525.00	\$0.00	\$	525.00
Copy Services	\$	787.50	\$0.00	\$	787.50
<b>TOTAL CONSTRUCTION OFFICE SUPPLIES</b>	<b>\$</b>	<b>1,443.75</b>		<b>\$</b>	<b>1,443.75</b>
<b>Project Management</b>					
Project Manager/Site Supervision T&L	\$	105,000.00	\$0.00	\$	105,000.00
Quality Control	\$	-	\$0.00	\$	-
Safety Manager	\$	-	\$0.00	\$	-
Factory Inspector	\$	-	\$0.00	\$	-
Site Security	\$	-	\$0.00	\$	-
Const Admin	\$	10,237.50	\$0.00	\$	10,237.50
<b>TOTAL PROJECT MANAGEMENT</b>	<b>\$</b>	<b>115,237.50</b>		<b>\$</b>	<b>115,237.50</b>
<b>Submittals &amp; Plans</b>					
Operation & Maintenance Manuals	\$	1,181.25	\$0.00	\$	1,181.25
Closeout Submittals	\$	1,968.75	\$0.00	\$	1,968.75
Warranty	\$	-	\$0.00	\$	-
Component Construction and Equipment Training	\$	4,987.50	\$0.00	\$	4,987.50
<b>TOTAL SUBMITTALS &amp; PLANS</b>	<b>\$</b>	<b>9,121.88</b>		<b>\$</b>	<b>9,121.88</b>
<b>TOTAL DIVISION 1: GENERAL REQUIREMENTS</b>					
	<b>\$</b>	<b>412,840.31</b>		<b>\$</b>	<b>412,840.31</b>
<b>DIVISION 2 SITE CONSTRUCTION</b>					
Site Clearing Included in Site Demo	\$	-	\$0.00	\$	-
Site Demo Included in Site Clearing	\$	-	\$0.00	\$	-
Stockpile Material and Haul off over burden	\$	-	\$0.00	\$	-
On site cut Included in Site Clearing/Site Demo	\$	-	\$0.00	\$	-
Traffic Maintenance	\$	-	\$0.00	\$	-
Site Preparation for Asphalt	\$	-	\$0.00	\$	-
Storm Drainage	\$	-	\$0.00	\$	-
Rough Grading	\$	-	\$0.00	\$	-
Final Grading	\$	-	\$0.00	\$	-
Topsoil Included In Landscaping Option	\$	-	\$0.00	\$	-
Landscaping See Option Pricing Per ASU	\$	-	\$0.00	\$	-
Architect	\$	-	\$0.00	\$	-
Site ADA Compliance Component	\$	-	\$0.00	\$	-
Construction only	\$	-	\$0.00	\$	-

Asphalt	\$	-	\$0.00	\$	-
Irrigation	\$	-	\$0.00	\$	-
Stripping and signage	\$	-	\$0.00	\$	-
Mobilization	\$	7,218.75	\$0.00	\$	7,218.75
Site Work layouts	\$	-	\$0.00	\$	-
Sub grade Included In Site Work Price	\$	-	\$0.00	\$	-
<b>TOTAL DIVISION 2: SITE CONSTRUCTION</b>	<b>\$</b>	<b>7,218.75</b>		<b>\$</b>	<b>7,218.75</b>
<b>DIVISION 3 CONCRETE</b>					
<b>Foundations</b>					
Foundation and Footing Layout	\$	-	\$0.00	\$	-
Foundation Excavation, Backfill and Compaction	\$	-	\$0.00	\$	-
Foundation, Footing, Piers, Equipment Pads, Steel Reinforcing Including Embed Plates	\$	-	\$0.00	\$	-
<b>TOTAL FOUNDATIONS &amp; FOOTINGS</b>	<b>\$</b>	<b>-</b>		<b>\$</b>	<b>-</b>
<b>Slabs, Sidewalks, Pads and Curbs</b>					
4" Concrete Sidewalks, Concrete ADA ramps, an Employee Break area Concrete as noted on HLA Schematic Drawing	\$	-	\$0.00	\$	-
Pavers	\$	-	\$0.00	\$	-
<b>TOTAL SLABS, SIDEWALKS AND CURBS</b>	<b>\$</b>	<b>-</b>		<b>\$</b>	<b>-</b>
<b>TOTAL DIVISION 3: CONCRETE</b>	<b>\$</b>	<b>-</b>		<b>\$</b>	<b>-</b>
<b>DIVISION 4 MASONRY</b>					
<b>TOTAL DIVISION 4: MASONRY</b>	<b>\$</b>	<b>-</b>		<b>\$</b>	<b>-</b>
<b>DIVISION 5 METALS</b>					
Steel Handrails	\$	-	\$0.00	\$	-
Aluminum/Steel Canopies over, service doors, windows, golf cart storage area North side of building See Option Pricing	\$	-	\$0.00	\$	-
HVAC and Chiller Roof Top Screens	\$	-	\$0.00	\$	-
Steel Embed plate for Foundations	\$	-	\$0.00	\$	-
Double Galvanized free standing RF MRI shield	\$	61,687.50	\$0.00	\$	61,687.50
Magnetic Shield For MRI Scan room	\$	26,250.00	\$0.00	\$	26,250.00
MRI Stainless Steele Quench pipe per Siemens drawings	\$	8,183.44	\$0.00	\$	8,183.44
Lead Shielding Included in Building Price with Claification in Added Items cost	\$	-	\$0.00	\$	-
Main entrance Grand Canopy See Option Pricing	\$	-	\$0.00	\$	-
<b>TOTAL DIVISION 5: METALS</b>	<b>\$</b>	<b>96,120.94</b>		<b>\$</b>	<b>96,120.94</b>
<b>DIVISION 6 WOODS AND PLASTICS</b>					
Cabinets and counter tops	\$	-	\$0.00	\$	-
Pin Panel Coil storage cabinet	\$	-	\$0.00	\$	-

Locker in RR/Change room	\$	-	\$0.00	\$	-
<b>TOTAL DIVISION 6: WOODS &amp; PLASTICS</b>	<b>\$</b>	<b>-</b>		<b>\$</b>	<b>-</b>
<b>DIVISION 7 THERMAL AND MOISTURE PROTECTION</b>					
White EPDM Roofing	\$	-	\$0.00	\$	-
Siding Panels EIFS	\$	-	\$0.00	\$	-
Gutter/Downspouts	\$	-	\$0.00	\$	-
Scuppers/Downspouts	\$	-	\$0.00	\$	-
Vapor Barrier in Crawl Space	\$	-	\$0.00	\$	-
<b>TOTAL DIVISION 7: THERMAL &amp; MOSITURE PROTECTION</b>	<b>\$</b>	<b>-</b>		<b>\$</b>	<b>-</b>
<b>DIVISION 8 WINDOWS AND DOORS</b>					
Exterior Metal Doors and Frames	\$	-	\$0.00	\$	-
Storefront Doors and Frames	\$	-	\$0.00	\$	-
Storefront Windows	\$	-	\$0.00	\$	-
MRI & PET/MMr RF Doors	\$	-	\$0.00	\$	-
Lead Doors and Windows	\$	-	\$0.00	\$	-
Addition Security Door Hardware and upgraded hardware.	\$	-	\$0.00	\$	-
Construction Cores	\$	-	\$0.00	\$	-
Master Key System	\$	-	\$0.00	\$	-
<b>TOTAL DIVISION 8: WINDOWS &amp; DOORS</b>	<b>\$</b>	<b>-</b>		<b>\$</b>	<b>-</b>
<b>DIVISION 9 FINISHES</b>					
Vinyl Composition Tile and Carpt per Drawings and Spec, Including all floor patching and sealers	\$	-	\$0.00	\$	-
Tape, Spackle, Prime and Paint Wall Finish	\$	-	\$0.00	\$	-
Suspended Ceiling	\$	-	\$0.00	\$	-
Floor Cove Base	\$	-	\$0.00	\$	-
Paint exterior Doors and frames	\$	-	\$0.00	\$	-
Exterior Siding and Trim Painting	\$	-	\$0.00	\$	-
Paint Exterior Steel Handrails	\$	-	\$0.00	\$	-
<b>TOTAL DIVISION 9: FINISHES</b>	<b>\$</b>	<b>-</b>		<b>\$</b>	<b>-</b>
<b>DIVISION 10 SPECIALITIES</b>					
Lockers	\$	-	\$0.00	\$	-
Fire Extinguishers	\$	525.00	\$0.00	\$	525.00
Code Interior Signage	\$	-	\$0.00	\$	-
<b>TOTAL DIVISION 10: SPECIALITIES</b>	<b>\$</b>	<b>1,115.63</b>		<b>\$</b>	<b>1,115.63</b>
<b>DIVISION 11 EQUIPMENT</b>					
MRI Chiller	\$	-	\$0.00	\$	-
Chiller installation	\$	-	\$0.00	\$	-
Medical Equipment	\$	-	\$0.00	\$	-
All other research equipment	\$	-	\$0.00	\$	-
Bike Rack	\$	-	\$0.00	\$	-
<b>TOTAL DIVISION 11: EQUIPMENT</b>	<b>\$</b>	<b>-</b>		<b>\$</b>	<b>-</b>

<b>DIVISION 12 FURNISHINGS</b>				
Desks	\$	-	\$0.00	\$ -
Desk Chairs	\$	-	\$0.00	\$ -
Television	\$	-	\$0.00	\$ -
Conference Tables and chairs	\$	-	\$0.00	\$ -
Office furniture and FFE	\$	-	\$0.00	\$ -
File Cabinets	\$	-	\$0.00	\$ -
<b>TOTAL DIVISION 12: FURNISHINGS</b>	<b>\$</b>	<b>-</b>	<b>\$0.00</b>	<b>\$ -</b>
<b>DIVISION 13 MODULAR/COMPONENT CONSTRUCTED</b>				
Additional Installation Items	\$	4,200.00	\$0.00	\$ 4,200.00
Paint	\$	3,281.25	\$0.00	\$ 3,281.25
HVAC	\$	6,168.75	\$0.00	\$ 6,168.75
Fire Sprinkler	\$	3,150.00	\$0.00	\$ 3,150.00
Electrical	\$	9,187.50	\$0.00	\$ 9,187.50
Plumbing	\$	3,937.50	\$0.00	\$ 3,937.50
Windows	\$	-	\$0.00	\$ -
Doors	\$	-	\$0.00	\$ -
Cabinets	\$	984.38	\$0.00	\$ 984.38
Drywall	\$	1,312.50	\$0.00	\$ 1,312.50
Parapets	\$	-	\$0.00	\$ -
<b>TOTAL DIVISION 13: MODULAR/COMPONENT BUILDING</b>	<b>\$</b>	<b>32,221.88</b>	<b>\$0.00</b>	<b>\$ 32,221.88</b>
<b>DIVISION 14 CONVEYING SYSTEMS</b>				
NONE	\$	-	\$0.00	\$ -
<b>TOTAL DIVISION 14: CONVEYING SYSTEMS</b>	<b>\$</b>	<b>-</b>	<b>\$0.00</b>	<b>\$ -</b>
<b>DIVISION 15 MECHANICAL</b>				
<b>Plumbing - Water</b>				
Plumbing Water Service - Site	\$	-	\$0.00	\$ -
Plumbing Water Service - Manifolding	\$	3,281.25	\$0.00	\$ 3,281.25
Plumbing Water Crossover Connections at the Mate line	\$	2,493.75	\$0.00	\$ 2,493.75
MRI Quench Pipe Insulation	\$	590.63	\$0.00	\$ 590.63
Plumbing Water Backflow Preventer and meter	\$	-	\$0.00	\$ -
Plumbing Water Pressure Relief Valve	\$	-	\$0.00	\$ -
<b>TOTAL PLUMBING - WATER</b>	<b>\$</b>	<b>6,365.63</b>	<b>\$0.00</b>	<b>\$ 6,365.63</b>
<b>Plumbing - Sanitary Sewer</b>				
Plumbing Sanitary Sewer Service - Complete inside Component Constructed Units building	\$	2,231.25	\$0.00	\$ 2,231.25
Plumbing Sanitary Sewer Service	\$	7,021.88	\$0.00	\$ 7,021.88
<b>TOTAL PLUMBING - SANITARY SEWER</b>	<b>\$</b>	<b>9,253.13</b>	<b>\$0.00</b>	<b>\$ 9,253.13</b>
<b>Fire Suppression</b>				
Fire Sprinkler -Building	\$	-	\$0.00	\$ -

Fire Sprinkler - Site	\$	3,228.75	\$0.00	\$	3,228.75
Fire Sprinkler Main Service Line	\$	-	\$0.00	\$	-
<b>TOTAL FIRE SUPPRESSION</b>	<b>\$</b>	<b>3,228.75</b>		<b>\$</b>	<b>3,228.75</b>
<b>Heating, Ventilation and Air Conditioning</b>					
HVAC Duct Drops and Diffusers	\$	-	\$0.00	\$	-
HVAC Install Roof Mounts	\$	-	\$0.00	\$	-
Change HVAC Filters for Turnover	\$	656.25	\$0.00	\$	656.25
Test and Balance HVAC Units	\$	-	\$0.00	\$	-
Direct Digital Control by Global Control Interface Panel Not In Original Proposal, See Option	\$	-	\$0.00	\$	-
<b>TOTAL HVAC</b>	<b>\$</b>	<b>656.25</b>		<b>\$</b>	<b>656.25</b>
<b>TOTAL DIVISION 15: MECHANICAL</b>	<b>\$</b>	<b>19,503.75</b>		<b>\$</b>	<b>19,503.75</b>
<b>DIVISION 16 ELECTRICAL</b>					
Electrical Service Distribution	\$	9,843.75	\$0.00	\$	9,843.75
Electrical Service - Connect to ASU provided Transformer approx. 80 lft from the Building MDP to the transformer	\$	-	\$0.00	\$	-
Building Electrical factory scope	\$	-	\$0.00	\$	-
<b>TOTAL ELECTRICAL SERVICE</b>	<b>\$</b>	<b>9,843.75</b>		<b>\$</b>	<b>9,843.75</b>
<b>Electrical Site</b>					
Site Area Lighting	\$	656.25	\$0.00	\$	656.25
Electrical Home run feeder to Equipment Grounding	\$	10,500.00	\$0.00	\$	10,500.00
Medical equipment Device wiring	\$	3,543.75	\$0.00	\$	3,543.75
Building Lightning Protection	\$	-	\$0.00	\$	-
Site Lighting Branch for parking area if required.	\$	-	\$0.00	\$	-
<b>TOTAL ELECTRICAL SITE</b>	<b>\$</b>	<b>14,700.00</b>		<b>\$</b>	<b>14,700.00</b>
<b>Electrical Building</b>					
Install Exterior Lights	\$	-	\$0.00	\$	-
LED lighting in common area,	\$	-	\$0.00	\$	-
Install Exhaust Fans	\$	-	\$0.00	\$	-
Install Exit/Emergency Lights	\$	-	\$0.00	\$	-
Wire Roof Mount HVAC Units (Power)	\$	-	\$0.00	\$	-
Wire Roof Mount HVAC Units (Low Voltage)	\$	-	\$0.00	\$	-
Wire Power Roof Vents	\$	-	\$0.00	\$	-
Electrical Crossover at seam line	\$	3,302.25	\$0.00	\$	3,302.25
Mateline work	\$	1,443.75	\$0.00	\$	1,443.75
<b>TOTAL ELECTRICAL BUILDING</b>	<b>\$</b>	<b>4,746.00</b>		<b>\$</b>	<b>4,746.00</b>
<b>Telephone, Data, Television, Nurse Call</b>					
Telephone - Boxes and Conduits	\$	-	\$0.00	\$	-
Telephone	\$	-	\$0.00	\$	-
Data - Boxes and Conduits	\$	-	\$0.00	\$	-

Data	\$	-	\$0.00	\$	-
Cable - Boxes and Conduits	\$	-	\$0.00	\$	-
Cable Television	\$	-	\$0.00	\$	-
Nurse Call Code Blue	\$	-	\$0.00	\$	-
Nurse Call Code Blue	\$	-	\$0.00	\$	-
<b>TOTAL TELEPHONE, DATA &amp; TELEVISION</b>	<b>\$</b>	<b>-</b>	<b>\$</b>	<b>\$</b>	<b>-</b>
<b>Security</b>					
Key Card Access System - Boxes and Conduit Stub	\$	-	\$0.00	\$	-
Key Card Access System	\$	-	\$0.00	\$	-
Security Alarm - Boxes and Conduit Stub	\$	-	\$0.00	\$	-
Security Alarm	\$	-	\$0.00	\$	-
CCTV - Boxes and Conduit Stub	\$	-	\$0.00	\$	-
CCTV	\$	-	\$0.00	\$	-
<b>TOTAL SECURITY</b>	<b>\$</b>	<b>-</b>	<b>\$</b>	<b>\$</b>	<b>-</b>
<b>Public Address, Notification System</b>					
Clocks	\$	-	\$0.00	\$	-
Public Address	\$	-	\$0.00	\$	-
<b>TOTAL PUBLIC ADDRESS &amp; MASS NOTIFICATION</b>	<b>\$</b>	<b>-</b>	<b>\$</b>	<b>\$</b>	<b>-</b>
<b>Fire Alarm</b>					
Fire Alarm - Boxes and Conduit	\$	-	\$0.00	\$	-
Fire Alarm Permit included in Price	\$	14,175.00	\$0.00	\$	14,175.00
Fire Alarm - Addressable	\$	-	\$0.00	\$	-
Flow Alarm for Fire Sprinkler	\$	-	\$0.00	\$	-
<b>TOTAL FIRE ALARM</b>	<b>\$</b>	<b>14,175.00</b>	<b>\$</b>	<b>\$</b>	<b>14,175.00</b>
<b>TOTAL DIVISION 16: ELECTRICAL</b>	<b>\$</b>	<b>43,464.75</b>	<b>\$</b>	<b>\$</b>	<b>43,464.75</b>
<b>GRAND TOTAL DIVISIONS 0 TO 16:</b>	<b>\$</b>	<b>2,302,986.00</b>	<b>\$</b>	<b>\$</b>	<b>2,302,986.00</b>

## **Note Regarding**

**LEED:** AADVANCED MEDICAL SPACE will make every effort to comply with as many items as possible to support a silver LEED, however this price does not include Silver LEED certifications. We have included White Rubber roofing, LED lights, Motion switches, DC lights in scan Room, Energy efficient exterior finish, recycled flooring, Energy efficient HVAC units with DDC automated programmable controls.

(All prices are per the attached design plan, specifications, scope of work, clarifications, and DOR)

(All pricing excludes sales, use and property tax, if applicable)

## **Building Warranty**

A one-year parts and labor warranty are provided for items manufactured by AMS. The manufacturer's warranty will be passed on for any parts not manufactured by AMS. This warranty is effective as of the completion date of field installation. The warranty is only effective when the building is reviewed, and a punch list signed by Customers' Project Engineer and AMS Representative within thirty (30) days of completion in the field.

## **Building Roof Warranty**

A One (1) year warranty is provided for defects due to labor or workmanship. A fifteen (15) year material warranty is provided by the manufacturer.

## **Invoice Schedule**

- 20% with contract - This allows us to start to draw / order / receive steel for super structure and start work.
- 25% with SVH design approval
- 35% Start of factory production.
- 10% with your inspection at factory, or on date of building placement at your site
- 10% not to exceed 30 days of the completion of our scope of work.
  - OR AIA Progress agreed upon billing.



INVOICES NOT PAID WITH IN 45 DAY WILL RESULT IN A PROJECT STOP WORK. A COST + FEE 15% TO STOP AND START THE PROJECT WILL BE ADDED.



## MEMO

**To: Sonoma Valley Hospital Board of Directors**

**From: John Hennelly**

**Meeting Date: September 7, 2023**

**Re: Seismic HED Design**

HED Design (“HED”) is the firm selected by the Hospital to complete the analysis for the seismic compliance of Senate Bill 1953 and administered by California Department of Health Care Access and Information (“HCAI”). There are milestones in place for 2024, 2026, 2028 to analyze, submit plans, construct and finally be seismically compliant in 2030 for General Acute Care Hospital Buildings. HCAI compliance is based on building performance categories for Structure (“SPC”) and Non-Structural (“NPC”).

The overall scope through the end of calendar 2024 is estimated to cost \$300K. With incremental funding spanning FY24-FY25. This overall scope will be incrementally funded and will include:

- HCAI Compliance – 1/1/24 Deadline – NPC document filings
- Full analysis of NPC upgrades required for all Hospital Buildings including scope and cost – by 12/31/2024
- Full analysis of SPC upgrades required for the West Wing for 2030 compliance to include retrofit scope, budget and high-level schedule - by 12/31/2024

This work is per the Hospital 2023 and Beyond Strategic Plan and will provide the Hospital with a seismic compliance plan that can be submitted to HCAI for approval. With an HCAI approved seismic compliance plan, the Hospital will be in a position to seek grants from the State – Small and Rural Hospital Relief Program – SB395 and source other potential other grants to fund the design and construction of the necessary upgrades. This work will also inform the Hospital of Master Facility Plan as we move through the stages of analysis.

Enclosed please find 2 proposals from HED Design totaling \$120K that encompasses their initial coordination and their Structural Engineer initial investigation.

Given the aforementioned information, we ask that the Board approve the overall scope of \$300K that will be funded incrementally through calendar year 2024 authorizing the hospital to proceed.



WWW.HED.DESIGN

- Boston
- Chicago
- Dallas
- Detroit
- Los Angeles**
- Sacramento
- San Diego
- San Francisco

550 South Hope St.  
Suite 2500  
Los Angeles, CA 90071

T 213.542.4500  
F 213.542.4515

June 30, 2023

Mrs. Kimberly Drummond  
Chief Support Services  
Sonoma Valley Hospital  
347 Andrieux Street  
Sonoma, CA 95476

**RE: Proposal for Sonoma Basis of Design Evaluation  
HED Project Number 2023-SV013-001**

Dear Kimberly Drummond:

Thank you for this opportunity to provide design services at Sonoma Valley Hospital (SVH). We appreciate your trust to serve you in your commitment to the health and wellbeing of your community.

Sincerely,

Tim Hurvitz, AIA, LEED AP BD+C  
Principal in Charge  
CA Architect License No. C-

**PROPOSAL ACCEPTANCE**

We suggest that if this proposal-agreement meets with your approval and you choose to award this project to HED, this proposal-agreement letter will serve as the contract between HED and SVH. By signing below, I approve and agree to be bound by the terms and conditions of this Proposal Letter Agreement (“Agreement”), attest that I have the authority to execute this Agreement on behalf of SVH and authorize HED (“Architect”) to commence services.

Accepted for SVH by:

Signature \_\_\_\_\_

Printed Name and Title \_\_\_\_\_

Date \_\_\_\_\_

This Proposal Letter will be valid for a period of sixty (60) days from date first noted above. Upon acceptance, please forward a signed copy to HED and retain a complete signed copy of the Agreement for your records.

Architects are licensed and regulated by the California Architects Board located at 2420 Del Paso Road, Suite 105, Sacramento, CA 95834

## PROJECT INTRODUCTION

SVH is seeking an A/E partner to conduct a Feasibility Study for the development of the Nonstructural Performance Category 3 (NPC 3), 4D (NPC 4D) & 5 (NPC 5) nonstructural evaluation required for the facility, as well as the Structural Performance Category 4D (SPC4D).

## PROJECT SCOPE

Feasibility study of facility building systems for the development of the NPC 3, NPC 4D & NPC 5 nonstructural evaluation report for submittal to the California Department of Health Care Access and Information (HCAI) prior to January 1, 2024; in compliance with the California Administrative Code. The NPC 3, NPC 4D & NPC 5 nonstructural evaluation report will address buildings under HCAI jurisdiction located at Sonoma Valley Hospital (Facility No. 11064), 347 Andrieux Street, Sonoma, CA 95476. In addition, feasibility study of facility building systems for the development of the SPC4D structural evaluation report.

Feasibility Study of systems for Evaluation Report to include:

### Basis of Design

1. Obtain Existing drawings and past reports regarding concerns , defect, FEMA , Owners and other consultants to review.
2. Layout a work plan and approach for the project.
3. Prepare the structural Basis of Design (BOD)
4. Discussions with California Department of Health Care Access and information (HCAI) review of the approach and BOD
5. Obtain Geotechnical Reports and submit to HCAI for review and comments.
6. Develop Material Testing Program and submit to HCAI for review and acceptance.
7. Develop SPC 4D Plan of approach and submit to HCAI for review and acceptance.
8. Executive summary of the findings which include, Existing conditions, Life safety, HCAI comments, updated schedule, and ROM for construction.
9. Sonoma Valley Hospital sign off.
10. Reports to SVH team with Action Items.

## PROPOSED FEE

For greater detail please see Exhibits A, B, C & D of this proposal. HED'S fee for providing the above outlined services will be a lump sum amount of **Twenty Thousand Dollars (\$20,000)**. Plus 1.15 times reimbursable expenses are estimated at \$5,000 and are not included in the fee.

### Not Included in the Fee:

1. 3D scanning services above the ceiling areas; by others - \$25,000 allowance (If determined necessary due to lack of record documents information)
2. Cost estimating services at end of feasibility study; by others - \$20,000 allowance
3. Self-declaration for buildings under HCAI jurisdiction not housing NPC 3 services/areas

## EXHIBIT A | Project Scope

### DEFINITION OF SCOPE OF SERVICES

Based upon our understanding of the project, HED proposes to provide the following professional architecture and engineering services to meet the project requirements:

#### Feasibility Study

1. Architect and Engineers shall conduct up to two (2) site visit to survey existing conditions of the areas of work and shall participate in a meeting with the Client.
2. Review of NPC rating for each facility building under HCAI jurisdiction.
3. Review of existing department boundaries, services, building systems and facility's current Emergency Water Conservation/Water Rationing Plan.
4. HCAI inquiry on proposed alternate of the on-site use of transportable source of potable water for minimum onsite water supply of potable and industrial water sufficient for 24 hrs. operation, without replenishment based on the facility's current Water Conservation/Water Rationing Plan.
5. Feasibility study report
6. Architect and Engineers shall participate in up to four (4) conference calls with the Client to discuss and review the feasibility study.

### CLIENT RESPONSIBILITIES

1. Client shall provide information in a timely manner regarding requirements for and limitations on the Project. Within 5 days after receipt of a written request from the Architect, the Client shall furnish the requested information as necessary and relevant for the Architect to evaluate, give notice of or enforce lien rights.
2. The Client shall identify a representative authorized to act on the Client's behalf with respect to the Project. The Client shall render decisions and approve the Architect's submittals in a timely manner in order to avoid unreasonable delay in the orderly and sequential progress of the Architect's services.
3. The Client shall provide prompt written notice to the Architect if the Client becomes aware of any fault or defect in the Project, including errors, omissions or inconsistencies in the Architect's Instruments of Service.

### HOURLY RATES

See Exhibit D for rate schedules.

Rates are subject to change annually and are effective through December 31, 2023.

## ASSUMPTIONS

1. All identified meetings as part of the Services between Client/Architect/Engineers shall take place onsite.
2. All Client/Architect/Engineers calls shall take place via Teams or similar host site.
3. Study and Report shall be based on Record Documents and/or As-Built Documents, and other information to be provided by the Client prior to the start of Services. Should actual conditions differ, additional services and fee may be necessary.
4. Facility shall provide current Water Rationing Plan and confirm total number of licensed patient beds.
5. The Architect and/or Engineers shall coordinate its services with those services provided by the Client and the Client's consultants/vendors. The Architect and/or Engineers shall be entitled to rely on, and shall not be responsible for, the accuracy, completeness, and timeliness of, services and information furnished by the Client and the Client/Contractor's consultants. The Architect and/or Engineers shall provide prompt written notice to the Client if the Architect and/or Engineers become aware of any error, omission, or inconsistency in such services or information.
6. Client's staff will be required to provide access throughout the facility to Architect's survey team during regular business hours. Client's staff will need to be knowledgeable of the facility's systems, and when requested should be able to provide related facility information to the Architect's survey team.
7. The initial field investigation will be limited to site observations of conditions that are readily visible and do not require extensive or destructive investigation.
8. At the request of the Architect, Client will be required to open-up wall/ceiling to provide access for necessary visual investigation of building non-structural system(s).
9. At the request of the Mechanical Engineer, Client will be required to provide existing mechanical systems capacity reports.
10. At the request of the Electrical Engineer, Client will be required to provide 3 day/30-day load test, panel and circuit verification for new and/or replacement equipment/fixtures; to include electrical panel ground verification.
11. The services and fee identified are based on the assumption that the existing structural, plumbing, mechanical, and electrical systems have been permitted and have adequate capacity to support the program and scope of services as described above; unless noted otherwise.
12. Client approval and signoff of Evaluation Report is required prior to submittal to HCAI.
13. Site visits and/or in-person meetings in addition to what is identified in above section(s) will be provided at an Additional Fee.
14. If the project is put on hold for ninety (90) days or longer, HED is entitled to renegotiate fees to complete the balance of the work if and when the project resumes.

## EXCLUSIONS

1. Items not specifically included in the Services section.
2. Payment of Agency Having Jurisdiction (AHJ) fees on behalf of the Client.
3. Services to revise documents required by the enactment or revisions of codes, laws, or regulations subsequent to the preparation of such documents, or due to other causes outside the control of the design team are excluded.
4. Services to respond to or comply with unprecedented or heretofore undocumented or unpublished Code interpretations.
5. Services seeking Program flexibility or Code variances, or efforts to appeal decisions made by the AHJ.
6. Programming services
7. Accessibility (handicap) path of travel study
8. Services to provide As-Built drawings of existing conditions and/or building systems, other than what is
9. Geotechnical & Soils report
10. Surveying and Civil engineering services
11. Architectural, Structural and MEP Engineer's Basic Design services (Schematic Design, Design Development, Construction Documents, Procurement, Construction Administration)

12. Project Manual/Spec. Book
13. Services related to the testing, discovery, mitigation, or removal of hazardous materials, including, but not limited to; asbestos, lead, polychlorinated biphenyls, mold, mildew, fungus, etc.
14. Structural investigation, development of material testing program to evaluate strength of existing materials is not included.
15. 3D Laser Scanning
16. Physical models, 3D modeling, and/or presentation renderings.
17. PIN 70 electrical study; to be conducted during Design phase.
18. Radius map and address label services
19. Commissioning, testing and/or measurements.
20. Services to provide cost estimates and/or life cycle cost analyses.
21. Requests for special cost accounting tallies/backup data and customized invoicing formats outside of normal billing.

## **EXHIBIT B | Project Schedule**

TBD

## EXHIBIT C | Terms & Conditions

The following Terms and Conditions are hereby incorporated by reference in the letter, proposal, or agreement (collectively, the "Agreement") to which they are attached. As used herein, the term "Client" refers to Owner/Client, and the term "Consultant" refers to HED. The basic services and compensation of the Consultant are set forth in the Agreement.

1. **BILLING/PAYMENTS** | Invoices for our services are submitted every month for the portion of services completed. Invoices shall be payable within 30 days of the invoice date. A service charge of 1.5% (or the legal rate) per month will be applied to the unpaid balance after 30 days. Retainers shall be credited on the final invoice. The Client agrees to pay all costs of collection, including reasonable attorneys' fees.
2. **ADDITIONAL SERVICES AND CONTRACT CHANGES** | Contract changes, including but not limited to, changes in Project Scope, changes in Services, changes in compensation or method of payment ("Changes") shall be agreed to in writing by Client and Consultant prior to implementation. "Additional Services" shall be compensated at the hourly rates and/or unit prices set forth in Exhibit A, or otherwise at the price agreed upon by the Client and Consultant. No Changes or Additional Services shall be implemented or commenced by Consultant unless authorized by Client in a writing. Subconsultant services shall be invoiced at 1.10 times amount billed.
3. **REIMBURSABLE EXPENSES** | The Client shall reimburse the Consultant at a multiple of 1.15 times its actual cost for (i) printing and duplication; (ii) delivery charges and long-distance telephone calls; (iii) travel in connection with the project; (iv) the fees of subconsultants engaged by the Consultant at the Client's request other than those included in the Agreement as a basic service; and (v) presentation models, renderings, and computer simulations. Faxes and in-house copies and plots shall be billed at Consultant's customary per page rate.
4. **CLIENT'S RESPONSIBILITIES** | The Client shall furnish in a timely manner such legal, accounting, and insurance counseling services as may be required for the project and such information relating to existing conditions at the project site (including survey and geotechnical engineering) as Consultant may reasonably request. The Consultant shall be entitled to rely upon the completeness and accuracy of all services and information provided by Client and Client's consultants. If the Client becomes aware of any fault or default in the project, the Client shall issue prompt written notice to Consultant. The Client shall identify a representative authorized to act on the Client's behalf with respect to the project. The Client shall render decisions and approve the Consultant's submittals in a timely manner in order to avoid unreasonable delay in the orderly and sequential progress of the Consultant's services.
5. **DOCUMENTS** | Drawings, specifications, and other documents produced by the Consultant are instruments of service, and the originals thereof and all intellectual property rights therein, including the copyright, shall remain the property of the Consultant. The Consultant shall furnish copies of such documents to the Client as a reimbursable expense, which the Client may use for completion of the Project (or for future renovations and additions) with the involvement of the Consultant as provided in the Agreement, subject to compliance by the Client with its payment obligations as provided in the Agreement and these Terms and Conditions. The Client may not otherwise copy or use such documents, or permit such copying or use by others, except with the Consultant's written permission.
6. **UNAUTHORIZED CHANGES AND USE** | In the event the Client, or anyone for whom the Client is legally liable, makes or permits to be made any changes to any reports, plans, specifications or other documents prepared by the Consultant, or uses such documents without Consultant's involvement, and does not obtain the Consultant's prior written consent, the Client shall assume full responsibility for the results of such authorized changes or use. Therefore, the Client agrees to waive any claim against the Consultant, and, to the fullest extent permitted by law, to indemnify, release, and hold harmless the Consultant from any damages, liabilities or costs, including reasonable attorneys' fees and costs of defense, arising directly or indirectly from such unauthorized changes or use.
7. **ESTIMATES** | As you are aware, neither the Architect nor the Client has control over the cost of labor, materials or equipment, over the Contractor's methods of determining bid prices, or over competitive bidding, market or negotiating conditions. As such, the Architect/Engineer cannot and does not warrant or represent that bids or negotiated prices will not vary from any estimate of construction cost or evaluation prepared or agreed to by HED.
8. **INSURANCE** | HED carries both general business and architect's and engineer's professional liability insurance coverage for the protection of both our firm and our clients. Details of our insurance coverage will be provided upon request.
9. **ACCESS TO SITE** | Unless otherwise stated, the Consultant will have access to the site for activities necessary for the performance of the services. The Consultant will take reasonable precautions to minimize damage due to these activities, but it shall not be responsible for the cost of restoration of any resulting damage.
10. **HIDDEN CONDITIONS** | A condition is hidden if concealed by existing finishes or is not capable of investigation by reasonable visual observation. If the Consultant has reason to believe that such a condition may exist, the Consultant shall issue written notice and request that the Client authorize and pay for all costs associated with the investigation of such a condition. If (1) the Client fails to authorize such an investigation after due notification, or (2) the Consultant has no reason to believe that such a condition exists, the Consultant shall not be responsible for the existing condition or any resulting damages to persons or property.
11. **HAZARDOUS MATERIALS** | HED does not have the specialized training or expertise in the specification, treatment and/or handling of new and/or existing asbestos-containing, asbestos-contaminated, or other toxic and hazardous materials, above or below surface, and our professional liability insurance policy does not include coverage of these services. Therefore, HED cannot provide these services. It is our understanding that the Client will retain, if necessary, a qualified industrial hygienist and/or contractor to provide these services.
12. **CONSTRUCTION OBSERVATION** | If so provided in the Agreement, the Consultant shall visit the site at intervals appropriate to the stage of construction in order to become generally familiar with the progress and quality of the Work completed by the Contractor. Such visits and observation are not intended to be an exhaustive check or a detailed inspection of the Contractor's work but rather are to allow the Consultant to become generally familiar with the Work in progress and to determine, in general, if the Work is proceeding in accordance with the Contract Documents. Based on this general observation, the Consultant shall keep the Client informed about the progress of the Work and shall endeavor to guard the Client against deficiencies in the Work. The Consultant shall not supervise, direct or have control over the Contractor's work nor have any responsibility for the construction means, methods, techniques, sequences or procedures selected by the Contractor nor for the Contractor's safety precautions or programs in connection with the Work. These rights and responsibilities are solely those of the Contractor in accordance with the Contract Documents. The Consultant shall not be responsible for any acts or omissions of the Contractor, subcontractor, any entity performing any portions of the Work, or any agents or employees of any of them. The Consultant does not guarantee the performance of the Contractor and shall not be responsible for the Contractor's failure to perform its Work in accordance with the Contract Documents or any applicable laws, codes, rules or regulations.



13. **JOBSITE SAFETY** | Neither the professional activities of the Consultant, nor the presence of the Consultant or its employees and subconsultants at a construction/project site, shall relieve the Contractor of its obligations, duties and responsibilities including, but not limited to, construction means, methods, sequence, superintending and coordinating the Work in accordance with the contract documents and any health or safety precautions required by any regulatory agencies. The Consultant and its personnel have no authority to exercise any control over any construction contractor or its employees in connection with their work or any health or safety programs or procedures. The Client agrees that the Contractor shall be solely responsible for jobsite safety and warrants that this intent shall be carried out in the Client's contract with the Contractor. The Client also agrees that the Client, the Consultant and the Consultant's subconsultants shall be indemnified by the Contractor and shall be made additional insureds under the Contractor's policies of general liability insurance.
14. **SHOP DRAWING REVIEW** | The Consultant shall review and approve or take other appropriate action on the Contractor submittals, such as shop drawings, product data, samples and other data, which the Contractor is required to submit, but only for the limited purpose of checking for conformance with the design concept and the information shown in the Construction Documents. This review shall not include review for accuracy or completeness of details, such as quantities, dimensions, weights or gauges, fabrication processes, construction means or methods, coordination of the work with other trades or construction safety precautions, all of which are the sole responsibility of the Contractor. The Consultant's review shall be conducted with reasonable promptness while allowing sufficient time in the Consultant's judgment to permit adequate review. Review of a specific item shall not indicate that the Consultant has reviewed the entire assembly of which the item is a component. The Consultant shall not be responsible for any deviations from the Construction Documents not brought to the attention of the Consultant in writing by the Contractor. The Consultant shall not be required to review partial submissions or those submissions for which correlated items have not been received. Shop drawings and other submittals related to the Work that are designed or certified by a design professional retained by the Contractor shall bear such professional's written approval, and the Consultant shall be entitled to rely upon the adequacy, accuracy, and completeness of such services, certifications, or approvals.
15. **PHOTOGRAPHS AND WRITTEN PUBLICITY MATERIALS** | The Consultant reserves the right to take and produce professional photographs of the job site upon completion of the work for the purpose of its marketing efforts through the media and Consultant promotional materials including but not limited to the company website, brochure and qualification package. Additionally, the Consultant reserves the right to produce written descriptions of the scope of work and the Consultant's staff efforts pertaining to the work proposed both during and upon completion of the project in the form of press releases and additional Consultant promotional materials including but not limited to the company website, brochure and qualification package.
16. **COMPLETION OF SERVICES** | HED's responsibility to provide the proposed services will terminate at the earlier of the issuance to the Client of the final Certificate for Payment or sixty (60) days after date of substantial completion of the project work.
17. **SUSPENSION OF SERVICES** | If the Client fails to make payments when due or otherwise is in breach of this Agreement, the Consultant may suspend performance of services upon seven (7) calendar days' notice to the Client. The Consultant shall have no liability whatsoever to the Client for any costs or damages as a result of such suspension caused by any breach of this Agreement by the Client. Upon payment in full by the Client, the Consultant shall resume services under this Agreement. The Consultant's time schedule and compensation shall be equitably adjusted if its services are suspended, delayed, extended, or otherwise materially changed due to causes outside of its control.
18. **TERMINATION OF SERVICES** | This agreement may be terminated upon 10 days written notice by either party should the other fail to perform their obligations hereunder. In the event of termination, the Client shall pay the Consultant for all services rendered to the date of termination, all reimbursable expenses, and reasonable termination expenses.
19. **RISK ALLOCATION** | In recognition of the relative risks and benefits of the Project to both the Client and the Consultant, the risks have been allocated such that the Client agrees, to the fullest extent permitted by law, to limit the liability of the Consultant to the Client for any and all claims, losses, costs, and damages of any nature, including attorneys' fees and costs and expert-witness fees and costs, caused by or related to Consultant's negligence or breach of the Agreement and not subject to the waiver under paragraph 17, so that the total aggregate liability of the Consultant to the Client shall not exceed the Consultant's total fee for services rendered on this Project or the aggregate amount of all indemnity payments made under any applicable insurance policy, whichever is less. It is intended that this limitation apply to any and all liability or cause of action, however alleged or arising, unless otherwise prohibited by law. If, due to the Consultant's negligence or breach, a required item or component of the Project is omitted from the Consultant's construction documents, the Consultant shall not be responsible for any cost or expense that provides betterment or upgrades or enhances the value of the Project beyond the item or component that would have been required and included in the original construction documents.
20. **CONSEQUENTIAL DAMAGES** | Notwithstanding any other provision of this Agreement, and to the fullest extent permitted by law, neither the Client nor the Consultant, their respective officers, directors, partners, employees, contractors or subconsultants shall be liable to the other or shall make any claim for any, incidental, indirect or consequential damages arising out of or connected in any way to the Project or to this Agreement. This mutual waiver of consequential damages shall include, but is not limited to, loss of use, loss of profit, loss of business, loss of income, loss of reputation or any other consequential damages that either party may have incurred from any cause of action including but not limited to negligence, strict liability, breach of contract and breach of strict or implied warranty. Both the Client and the Consultant shall require similar waivers of consequential damages protecting all the entities or persons named herein in all contracts and subcontracts with others involved in this project.
21. **INDEMNIFICATION** | In addition, and notwithstanding any other provisions of this Agreement, the Client agrees, to the fullest extent permitted by law, to indemnify and hold harmless the Consultant, its officers, directors, employees and subconsultants (collectively, Consultant) against all damages, liabilities or costs including reasonable attorneys' fees and defense costs, rising out of or in any way connected with this Project or the performance by Client or any of its employees and subconsultants under this Agreement, excepting only those damages, liabilities or costs attributable to the negligent acts or negligent failure to act by the Consultant or its breach of the Agreement.
22. **DISPUTE RESOLUTION** | Claims, disputes or other matters in question between the parties to this Agreement arising out of or relating to this Agreement or the breach thereof shall be subject to and decided by informal negotiations between authorized representatives of the parties, followed by mediation if the informal negotiations are not successful. Mediation shall be conducted in accordance with the Construction Industry Mediation Rules of the American Arbitration Association in effect at the time the request for mediation is made by either party. In the event that the parties are not successful in resolving the dispute by mediation, then such disputes shall be subject to and decided by arbitration conducted in accordance with the Construction Industry Arbitration Rules of the American Arbitration Association in effect at the time the demand for arbitration is made by either party. The place of the arbitration hearings shall be at the offices of the American Arbitration Association in Los Angeles, CA unless otherwise mutually agreed by the parties. The award rendered by the arbitrator(s) shall be final and binding and enforceable in any court of competent jurisdiction.
23. **MISCELLANEOUS PROVISIONS** | The Agreement, including these Terms and Conditions, represents the complete and integrated agreement between the parties; supersedes all prior agreements between the parties relating to the project; may be amended only in writing; is binding upon the parties, their successors, assigns, and legal representatives; and shall be interpreted and governed in accordance with the laws of the California.



WWW.HED.DESIGN

- Boston
- Chicago
- Dallas
- Detroit
- Los Angeles**
- Sacramento
- San Diego
- San Francisco

550 South Hope St.  
 Suite 2500  
 Los Angeles, CA 90071

T 213.542.4500  
 F 213.542.4515

August 11, 2023

Mrs. Kimberly Drummond  
 Chief Support Services  
 Sonoma Valley Hospital  
 347 Andrieux Street  
 Sonoma, CA 95476

**RE: Sonoma Valley Hospital  
 Hospital Renovations for NPC and SPC Compliance  
 HED Project Number 2023-SV013-001  
 – Additional Service Request #1 (ASR 1)**

Dear Kimberly Drummond,  
 Here is a broad outline for our scope-of-work and fees:

Hospital Renovations for NPC and SPC Compliance

Scope-of-Work Part 1 - Existing Conditions Analysis

- A. NPC Analysis
- B. SPC Analysis

Scope-of-Work Part 2 - Compliance Evaluation - Deadline Due Date - 1/1/24

- A. NPC Evaluation
- B. SPC Evaluation

HED/Miyamoto Fees:

Part 1.A. and 1.B. (partial)	Base Fee	6/30/23	- HED	\$20,000
Part 1.A. and 1.B. - complete	Add Service #1	8/11/23	- Miyamoto	\$90,000
Part 1.A. and 1.B. - complete	Add Service #2		- HED	tbd
Part 2.A. and 2.B. - complete	Add Service #3		- HED & Miya & MEP Engineer	tbd



WWW.HED.DESIGN

The following is a fee summary for this Additional Service Request:

Fee Summary - Hospital Renovations (for NPC and SPC Compliance)

ASR 1 - BOD Proposal Increment 2

Net Increase for this Add Service Request

HED Architects	n/a
Miyamoto Structural Engineers	\$90,000
Total for ASR 1	\$90,000

Contract Modifications Summary

Original Contract Amount: \$20,000

Previous Change Orders: \$0

Contract Amount prior to this Add Service Request \$20,000

Amount for this Add Service request \$90,000

Revised Contract Amount \$110,000

Thank you for this opportunity to provide design services at Sonoma Valley Hospital (SVH). We appreciate your trust to serve you in your commitment to the health and wellbeing of your community.

Sincerely,

Timothy Hurvitz, AIA, LEED AP BD+C  
Principal in Charge  
CA Architect License No. C-34381



**PROPOSAL ACCEPTANCE**

We suggest that if this proposal-agreement meets with your approval and you choose to award this project to HED, this proposal-agreement letter will serve as the contract between HED and SVH. By signing below, I approve and agree to be bound by the terms and conditions of this Proposal Letter Agreement ("Agreement"), attest that I have the authority to execute this Agreement on behalf of SVH and authorize HED ("Architect") to commence services.

Accepted for SVH by:

Signature \_\_\_\_\_

Printed Name and Title \_\_\_\_\_

Date \_\_\_\_\_

This Proposal Letter will be valid for a period of sixty (60) days from date first noted above. Upon acceptance, please forward a signed copy to HED and retain a complete signed copy of the Agreement for your records.

Architects are licensed and regulated by the California Architects Board located at 2420 Del Paso Road, Suite 105, Sacramento, CA 95834



**PROJECT SCOPE**

The project scope for this Add Service is the structural analysis of the existing conditions at Sonoma Valley Hospital per the attached Fee Proposals from Miyamoto, International, Inc. for the scope-of-work Parts 1.A. and 1.B.

**PROJECT SERVICES**

Based on HED’s project understanding, we are pleased to offer structural design services for existing conditions analysis.

**PROPOSED FEE**

Fee Summary - Hospital Renovations (for NPC and SPC Compliance)

ASR 1 - BOD Proposal Increment 2

Net Increase for this Add Service Request

HED Architects	n/a
Miyamoto Structural Engineers	\$90,000
Total for ASR 1	\$90,000

Contract Modifications Summary

Original Contract Amount: \$20,000

Previous Change Orders: \$0

Contract Amount prior to this Add Service Request \$20,000

Amount for this Add Service request \$90,000

Revised Contract Amount \$110,000

**CLIENT RESPONSIBILITIES**

- All Existing Conditions documentation  
(note: Architect and Design Engineers will take existing conditions measurements and perform site inspections where accessible and practical.)

## **ASSUMPTIONS**

- Per the terms and conditions of the 6/30/23 Letter of Agreement.

## **EXCLUSIONS**

- Design Team will not provide services related to Hazardous Materials
- see Consultant Proposals for additional scope of Exclusions

## **MISCELLANEOUS ITEMS**

- see Consultant Proposals for additional Miscellaneous items

end of document

May 5, 2023

Mr. Tim Hurvitz  
HED  
417 Montgomery St, Suite 400  
San Francisco, CA 94104  
thurvitz@hed.design

**Subject: Proposal for Structural Engineering Services related to  
Sonoma Valley Hospital Non-structural Seismic Evaluation  
Sonoma, CA  
MI2313014.01**

Dear Mr. Hurvitz:

Miyamoto International, Inc. ("Miyamoto") has reviewed the subject project and is pleased to submit the following proposal to HED ("Client") for professional services.

1. Scope of Work. Structural engineering services related to preparing a seismic compliance plan for the 57,100-SF, 3-story, concrete framed West Wing Hospital building plus one-story East Wing North, East Wing Center, East Wing South, Central Wing, Chiller building, Central Wing Canopy, West Wing Canopy, East Wing Canopy, ED/OR, and ED/OR Canopy (see site plan on Page 5) located at 347 Andrieux St, Sonoma, California based on the email from your office dated April 26, 2023 and teleconference dated April 27, 2023.

For the purposes of this proposal, the following conditions are assumed:

- i. A geotechnical/geohazards report in accordance with 2022 CBC and ASCE-41 will be provided
  - ii. Complete structural drawings are available for all original construction, previous structural renovations and seismic retrofits and will be made available prior to start of work
  - iii. Seismic compliance plan consists of NPC work only. SPC seismic compliance plan services are covered under a separate proposal
  - iv. Materials testing, structural investigation, and local finish demolition may be required and is assumed to be by others
2. Services. We will provide the following structural engineering services for the project:
    - a. Review existing documentation
    - b. Perform preliminary seismic evaluation per 2022 CBC and ASCE-41 to identify potential non-structural deficiencies
    - c. Provide summary report of findings and preliminary recommendations for remediation measures. Summary report will include schematic retrofit scope diagrams for preliminary costing purposes.
    - d. Participate in meetings with HCAI
    - e. Respond to comments from HCAI
    - f. Up to (6) site visit to observe and document non-structural conditions

Our services are for the seismic evaluation of the anchorage and bracing of non-structural equipment and distribution systems (AMEP equipment and piping, conduit, ductwork) only, unless noted otherwise. They do not include the design of form work, shoring and other means and methods required for construction, or construction cost estimating. Our services do not include site visits unless specifically included in this proposal. Miyamoto may visit the Project, but unless otherwise specified, the purpose of the site visits is for Miyamoto to familiarize itself with the features of the site and the general aspects of construction in order to be able to respond to requests for information. Our services do not include any inspections related to, or control over, or supervision of, construction means, methods, techniques, sequences, or safety procedures.

Miyamoto will perform its services consistent with the professional skill and care ordinarily provided by structural engineers practicing in the same or similar locality under the same or similar circumstances. No services such as architectural, geotechnical, civil, mechanical, electrical, or fire protection are included, unless noted otherwise. If such services are required, licensed professionals qualified in these fields should be retained.

3. Compensation. The basic fee for our services will be \$40,000.00 and will be billed monthly as services are rendered.

4. Extra Services. If Miyamoto is asked to perform services which are outside the Scope of Work, or if you change the Scope of Work, including changes in size, quality, complexity, and schedule, then any work performed by Miyamoto as a result of such request or change will be billed to you either upon a mutually agreeable increase in the basic fee, or upon a time and materials basis. Miyamoto current hourly billing rates are as follows: Senior Principal \$300.00/hr; Principal \$275.00/hr; Associate Principal \$225.00/hr; Senior Associate \$170.00/hr; Associate Engineer \$160.00/hr; Associate Designer \$125.00/hr; Senior Project Engineer \$140.00/hr; Senior Designer \$125.00/hr; Project Engineer \$125.00/hr; Staff Engineer \$120.00/hr; BIM Engineer / Designer \$100.00/hr; Administrative Assistant \$80.00/hr; and Intern \$80.00/hr. The rates are subject to change without notice. Unless noted otherwise, extra services include but are not limited to the following: tenant improvement work; anchorage of MEP, fire sprinkler and other non-structural equipment; remediation of hazardous materials; exterior elements such as fountains, signs, light poles, flagpoles, site walls, and retaining walls; non-bearing exterior cladding; non-bearing interior partitions; design-build stairs; pre-engineered joists and trusses; creating book specifications; value engineering services after completion of the permit submittal package; preparing documents for alternate bids; preparing documents for multiple building permit packages; responding to owner-retained peer review comments; attending additional meetings beyond the scope of the structural system; designing and detailing repairs for defective construction; and preparing record drawings during or after construction.

5. Charge for Late Payments. Invoices which are not paid within 30 days of the due date will bear a service charge of 1.5% per month, compounded, with charges accrued from the due date.

6. Limitation of Liability. Miyamoto's liability to Client in the event of Miyamoto's negligence, errors, omissions, strict liability, or breach of contract, with respect to the project or this agreement, shall not exceed the amount of insurance available under Miyamoto's errors and omissions policy or policies which cover such events. Client agrees that it will not bring a lawsuit or claim against individual employees, officers, or directors of Miyamoto, and that Client's sole remedies under this contract shall be against Miyamoto.



7. Use of Miyamoto Documents. The drawings, specifications, calculations, and other documents, including those in electronic form, produced by Miyamoto under this agreement are for use solely with respect to the Project. Miyamoto shall be deemed the owner of these documents and shall retain all common law, statutory and other reserved rights, including copyright. Upon the execution of this agreement, Miyamoto grants to the Client a nonexclusive license to reproduce such Miyamoto documents for the purpose of constructing, maintaining or using the Project. Any termination of this agreement prior to completion of the Project, or any failure of Client to pay Miyamoto for Miyamoto's services, shall terminate this license. Client shall not use the Miyamoto documents for any future additions or alterations to the Project without written permission of Miyamoto. Any unauthorized use of Miyamoto documents shall be at Client's sole risk and without liability to Miyamoto.

8. Suspension; Termination.

a. Suspension. If the project is suspended by Client (or the owner of the Project) for more than 30 days, Client shall compensate Miyamoto for all services performed by Miyamoto prior to such suspension. When the project is resumed, Miyamoto shall be compensated for expenses incurred in the interruption and resumption of Miyamoto's services. Miyamoto's fees for the remaining services shall be equitably adjusted. If the suspension continues for more than 90 days, Miyamoto may terminate this agreement by not less than 7 days' notice.

b. Miyamoto's Right to Suspend Work upon Non-Payment. If any Miyamoto invoice is not paid within 60 days, Miyamoto shall have the right to suspend work on the project until payment on such invoice is received, and Miyamoto shall have no liability for any damage, cost, fine or penalty due to delay in the Project caused by such suspension.

c. Termination for Convenience. Client may, upon no less than 7 days' written notice, terminate this agreement for the convenience of the Client without cause.

d. Terminate for Cause. Either party may terminate this agreement on not less than 7 days' written notice if the other party fails to perform its obligations under this agreement.

e. Payment upon Termination. In the event of a Termination for Convenience or other termination not the fault of Miyamoto, Client shall pay Miyamoto for all services performed prior to termination, plus expenses incurred in demobilizing, plus a termination fee equal to Miyamoto's anticipated but unrealized profit as of the date of termination.

If you agree to the above, please send a signed copy of this agreement to Miyamoto International, Inc., as notice to proceed.

We appreciate the opportunity to work with you. The conditions of this proposal shall be applicable for 90 days from the date of this proposal, after which Miyamoto reserves the right to review and/or negotiate them with the Client.

Best regards,  
Miyamoto International, Inc.



Josh Reynolds, S.E.  
Principal



Sean Fraser, S.E.  
Associate Principal

---

**I, the Client, agree to the above terms:**

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

\_\_\_\_\_  
Name

\_\_\_\_\_  
Billing Contact Name

\_\_\_\_\_  
Title

\_\_\_\_\_  
Billing Contact Email Address

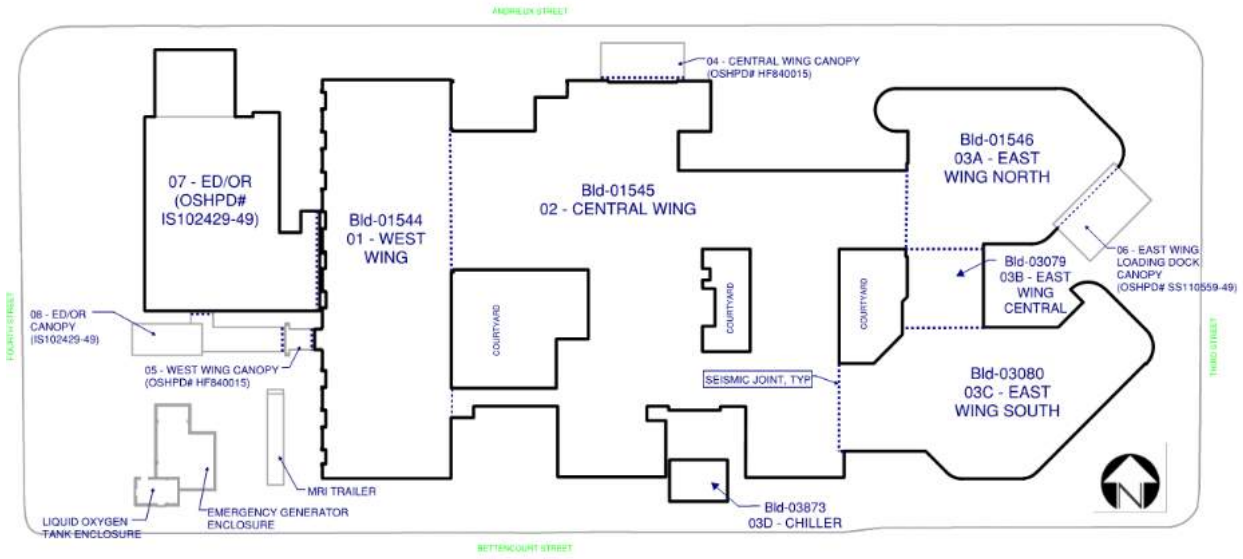
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Client Purchase Order or Project Number

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Billing Contact Phone Number

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SCF/scf

Chauvel CE/SE13848, S4777 / Determan S4654 / Li C66333 / Miyamoto S4187 / Reynolds S5637



**SITE PLAN**  
Sonoma Valley Hospital  
Facility ID - 11064

March 31, 2023

Mr. Tim Hurvitz  
HED  
417 Montgomery St, Suite 400  
San Francisco, CA 94104  
thurvitz@hed.design

**Subject: Proposal for Structural Engineering Services related to  
Sonoma Valley Hospital West Wing Seismic Evaluation  
Sonoma, CA  
MI2313014.00**

Dear Mr. Hurvitz:

Miyamoto International, Inc. (“Miyamoto”) has reviewed the subject project and is pleased to submit the following proposal to HED (“Client”) for professional services.

1. Scope of Work. Structural engineering services related to preparing a seismic compliance plan for the 57,100-SF, 3-story, concrete framed West Wing Hospital building located at 347 Andrieux St, Sonoma California based on the email from your office dated March 16, 2023 and teleconference dated March 24, 2023.

For the purposes of this proposal, the following conditions are assumed:

- i. A geotechnical/geohazards report in accordance with 2022 CBC and ASCE-41 will be provided
  - ii. Complete structural drawings are available for all original construction, previous structural renovations and seismic retrofits and will be made available prior to start of work
  - iii. Seismic compliance plan consists of SPC work only. NPC seismic compliance plan services can be provided as an additional service
  - iv. Materials testing, structural investigation, and local finish demolition may be required and is assumed to be by others
2. Services. We will provide the following structural engineering services for the project:
    - a. Review existing documentation
    - b. Perform preliminary seismic evaluation per 2022 CBC and ASCE-41 to identify potential deficiencies
    - c. Perform advanced analysis/evaluation (ASCE-41 Tier 3) after preliminary evaluation is complete
    - d. Provide summary report of findings and preliminary recommendations for remediation measures. Summary report will include schematic retrofit scope diagrams for preliminary costing purposes.
    - e. Participate in meetings with HCAI
    - f. Respond to comments from HCAI
    - g. (1) site visit to verify as-built structure is in general conformance with structural drawings

Our services are for the seismic evaluation of the structural shell (primary structural system) only, unless noted otherwise. They do not include the design of form work, shoring and other means and methods required for construction, or construction cost estimating. Our services do not include site visits unless specifically included in this proposal. Miyamoto may visit the Project, but unless otherwise specified, the purpose of the site visits is for Miyamoto to familiarize itself with the features of the site and the general aspects of construction in order to be able to respond to requests for information. Our services do not include any inspections related to, or control over, or supervision of, construction means, methods, techniques, sequences, or safety procedures.

Miyamoto will perform its services consistent with the professional skill and care ordinarily provided by structural engineers practicing in the same or similar locality under the same or similar circumstances. No services such as architectural, geotechnical, civil, mechanical, electrical, or fire protection are included, unless noted otherwise. If such services are required, licensed professionals qualified in these fields should be retained.

3. Compensation. The basic fee for our services will be \$50,000.00 and will be billed monthly as services are rendered.

4. Extra Services. If Miyamoto is asked to perform services which are outside the Scope of Work, or if you change the Scope of Work, including changes in size, quality, complexity, and schedule, then any work performed by Miyamoto as a result of such request or change will be billed to you either upon a mutually agreeable increase in the basic fee, or upon a time and materials basis. Miyamoto current hourly billing rates are as follows: Senior Principal \$300.00/hr; Principal \$275.00/hr; Associate Principal \$225.00/hr; Senior Associate \$170.00/hr; Associate Engineer \$160.00/hr; Associate Designer \$125.00/hr; Senior Project Engineer \$140.00/hr; Senior Designer \$125.00/hr; Project Engineer \$125.00/hr; Staff Engineer \$120.00/hr; BIM Engineer / Designer \$100.00/hr; Administrative Assistant \$80.00/hr; and Intern \$80.00/hr. The rates are subject to change without notice. Unless noted otherwise, extra services include but are not limited to the following: tenant improvement work; anchorage of MEP, fire sprinkler and other non-structural equipment; remediation of hazardous materials; exterior elements such as fountains, signs, light poles, flagpoles, site walls, and retaining walls; non-bearing exterior cladding; non-bearing interior partitions; design-build stairs; pre-engineered joists and trusses; creating book specifications; value engineering services after completion of the permit submittal package; preparing documents for alternate bids; preparing documents for multiple building permit packages; responding to owner-retained peer review comments; attending additional meetings beyond the scope of the structural system; designing and detailing repairs for defective construction; and preparing record drawings during or after construction.

5. Charge for Late Payments. Invoices which are not paid within 30 days of the due date will bear a service charge of 1.5% per month, compounded, with charges accrued from the due date.

6. Limitation of Liability. Miyamoto's liability to Client in the event of Miyamoto's negligence, errors, omissions, strict liability, or breach of contract, with respect to the project or this agreement, shall not exceed the amount of insurance available under Miyamoto's errors and omissions policy or policies which cover such events. Client agrees that it will not bring a lawsuit or claim against individual employees, officers, or directors of Miyamoto, and that Client's sole remedies under this contract shall be against Miyamoto.

7. Use of Miyamoto Documents. The drawings, specifications, calculations, and other documents, including those in electronic form, produced by Miyamoto under this agreement are for use solely with respect to the Project. Miyamoto shall be deemed the owner of these documents and shall retain all common law, statutory and other reserved rights, including copyright. Upon the execution of this agreement, Miyamoto grants to the Client a nonexclusive license to reproduce such Miyamoto documents for the purpose of constructing, maintaining or using the Project. Any termination of this agreement prior to completion of the Project, or any failure of Client to pay Miyamoto for Miyamoto's services, shall terminate this license. Client shall not use the Miyamoto documents for any future additions or alterations to the Project without written permission of Miyamoto. Any unauthorized use of Miyamoto documents shall be at Client's sole risk and without liability to Miyamoto.

8. Suspension; Termination.

a. Suspension. If the project is suspended by Client (or the owner of the Project) for more than 30 days, Client shall compensate Miyamoto for all services performed by Miyamoto prior to such suspension. When the project is resumed, Miyamoto shall be compensated for expenses incurred in the interruption and resumption of Miyamoto's services. Miyamoto's fees for the remaining services shall be equitably adjusted. If the suspension continues for more than 90 days, Miyamoto may terminate this agreement by not less than 7 days' notice.

b. Miyamoto's Right to Suspend Work upon Non-Payment. If any Miyamoto invoice is not paid within 60 days, Miyamoto shall have the right to suspend work on the project until payment on such invoice is received, and Miyamoto shall have no liability for any damage, cost, fine or penalty due to delay in the Project caused by such suspension.

c. Termination for Convenience. Client may, upon no less than 7 days' written notice, terminate this agreement for the convenience of the Client without cause.

d. Terminate for Cause. Either party may terminate this agreement on not less than 7 days' written notice if the other party fails to perform its obligations under this agreement.

e. Payment upon Termination. In the event of a Termination for Convenience or other termination not the fault of Miyamoto, Client shall pay Miyamoto for all services performed prior to termination, plus expenses incurred in demobilizing, plus a termination fee equal to Miyamoto's anticipated but unrealized profit as of the date of termination.

If you agree to the above, please send a signed copy of this agreement to Miyamoto International, Inc., as notice to proceed.

We appreciate the opportunity to work with you. The conditions of this proposal shall be applicable for 90 days from the date of this proposal, after which Miyamoto reserves the right to review and/or negotiate them with the Client.

Best regards,  
Miyamoto International, Inc.



Josh Reynolds, S.E.  
Principal



Sean Fraser, S.E.  
Associate Principal

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**I, the Client, agree to the above terms:**

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

\_\_\_\_\_  
Name

\_\_\_\_\_  
Billing Contact Name

\_\_\_\_\_  
Title

\_\_\_\_\_  
Billing Contact Email Address

\_\_\_\_\_  
Client Purchase Order or Project Number

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Billing Contact Phone Number

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SCF/scf  
Chauvel CE/SE13848, S4777 / Determan S4654 / Li C66333 / Miyamoto S4187 / Reynolds S5637



**To:** Sonoma Valley Health Care District Finance Committee  
**From:** Ben Armfield, Chief Financial Officer  
**Date:** August 22, 2023  
**Subject:** Financial Report for July 2023

**1. OVERALL PERFORMANCE | MONTH**

July marked the beginning of a new fiscal year, and it was a good start from operations as July’s performance rebounded from a subpar June to deliver a very positive month. In fact, this past month marks one of the better financial performances from operations in recent months as July’s operating margin far exceeded budget and prior year, and the hospital’s operating EBDA was nearly an operational break-even for the month.

Both revenues and expenses played a role as both were favorable to their respective targets in July. Strong surgical and procedural volumes drove the revenue growth, and some continued discipline in some key expense areas helped keep our operational costs under both our budget and recent run-rate.

Volumes continue to be strong, especially on the outpatient side. July delivered more surgical volume to the hospital as procedures continue to uptick. Other outpatient activity, specifically outpatient ancillary visits and ER volumes, just missed budget in July but those areas remain busy as their respective monthly volumes were right in line with previous months.

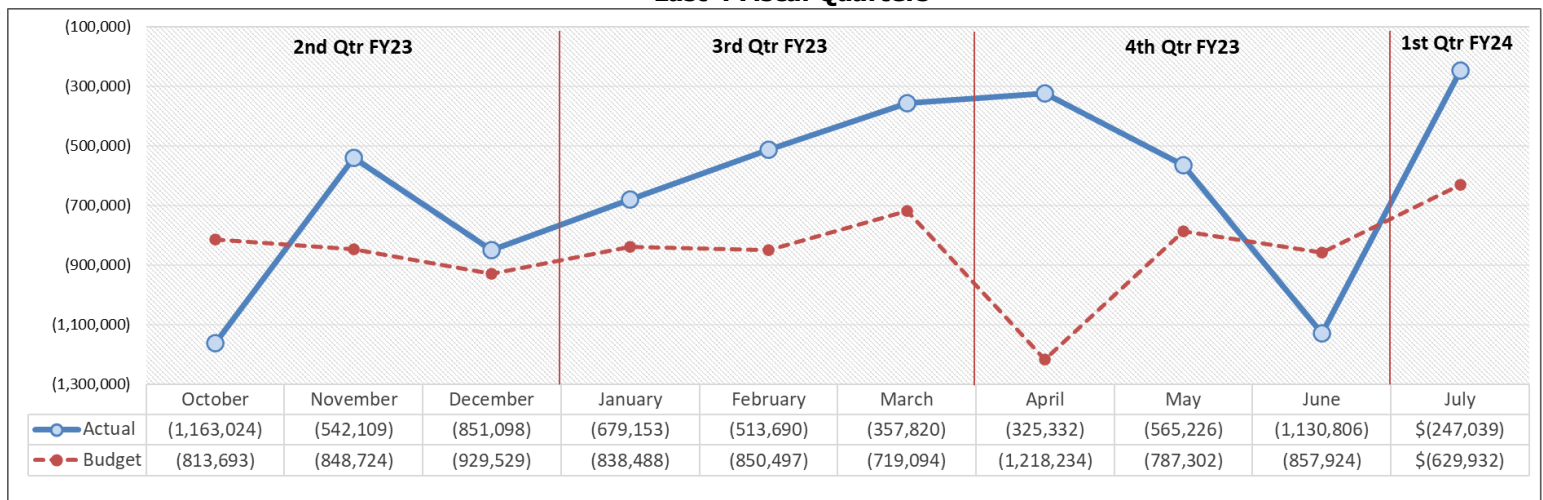
All in, net patient revenue exceeded budget by 4% while operating expenses came in under budget by nearly 5%. Very strong numbers to start the new fiscal year.

Our days cash dropped slightly from June to 39.7, much of which is due to an increase in payments in continued efforts to decrease our overall payables. We did have a better month in cash collections in July and expect continued growth in the months ahead with the recent increases in surgical and procedural volumes.

**Table 1 | Overall Performance - July 2023 (There was no IGT in July, Actual or Budget)**

	Current Year - Month		Variance		Current Year - YTD		Variance		Prior YTD		Variance	
	Actual	Budget	\$	%	Actual	Budget	\$	%	Actual	\$	%	
Operating Margin	\$ (247,039)	\$ (629,932)	\$ 382,893	61%	\$ (247,039)	\$ (629,932)	\$ 382,893	61%	\$ (751,087)	\$ 504,048	67%	
Operating EBDA*	\$ (6,825)	\$ (356,965)	\$ 350,140	98%	\$ (6,825)	\$ (356,965)	\$ 350,140	98%	\$ (521,546)	\$ 514,721	99%	
Net Income (Loss)	\$ 268,852	\$ 88,838	\$ 180,014	203%	\$ 268,852	\$ 88,838	\$ 180,014	203%	\$ (290,120)	\$ 558,972	193%	

**SVH Trended Operating Margin (excl IGT funding)  
Last 4 Fiscal Quarters**





## 2. NET REVENUE SUMMARY:

**Table 2 | Net Patient Revenue – Actual vs. Budget - July 2023 (Excluding IGT)**

	Month of July 2023				Year To Date July 2023						
	Current Year - Month		Variance		Current Year - YTD		Variance		Prior YTD	Variance	
	Actual	Budget	Var	%	Actual	Budget	\$	%	Actual	\$	%
Gross Revenue	\$ 27,697,586	\$ 26,695,379	\$ 1,002,207	4%	\$ 27,697,586	\$ 26,695,379	\$ 1,002,207	4%	\$ 24,887,605	\$ 2,809,981	11%
Net Patient Revenue	\$ 4,246,672	\$ 4,085,591	\$ 161,081	4%	\$ 4,246,672	\$ 4,085,591	\$ 161,081	4%	\$ 3,885,256	\$ 361,416	9%
NPR as a % of Gross	15.3%	15.3%	0%		15.3%	15.3%	0%		15.6%	-2%	
Tot Operating Revenue	\$ 4,332,181	\$ 4,178,397	\$ 153,784	4%	\$ 4,332,181	\$ 4,178,397	\$ 153,784	4%	\$ 3,964,934	\$ 367,247	9%

## 3. OPERATING EXPENSE SUMMARY:

**Table 3 | Operating Expenses – Actual vs. Budget – July 2023 (Excluding IGT)**

	Month of July 2023				Year To Date July 2023						
	Current Year - Month		Variance		Current Year - YTD		Variance		Prior YTD	Variance	
	Actual	Budget	Var	%	Actual	Budget	\$	%	Actual	\$	%
Operating Expenses	\$ 4,579,220	\$ 4,808,329	\$ 229,109	4.8%	\$ 4,579,220	\$ 4,808,329	\$ 229,109	5%	\$ 4,716,021	\$ 136,800	3%
Worked FTEs	215.4	210.2	(5.1)	-2%	215.4	210.2	(5.1)	-2%	195.0	(20.4)	-10%

Operating expenses were very favorable in July. Highlighting this performance was a decrease in traveler and registry spend as we continue to work hard in recruiting and filling vacancies through direct hires. Some of the expense variance is timing related, as we do spread most of our budgeted purchased service expenses evenly over the fiscal year. This will smooth out in time over the fiscal year, but it is worth noting as this is a contributing factor to the positive variance in July.

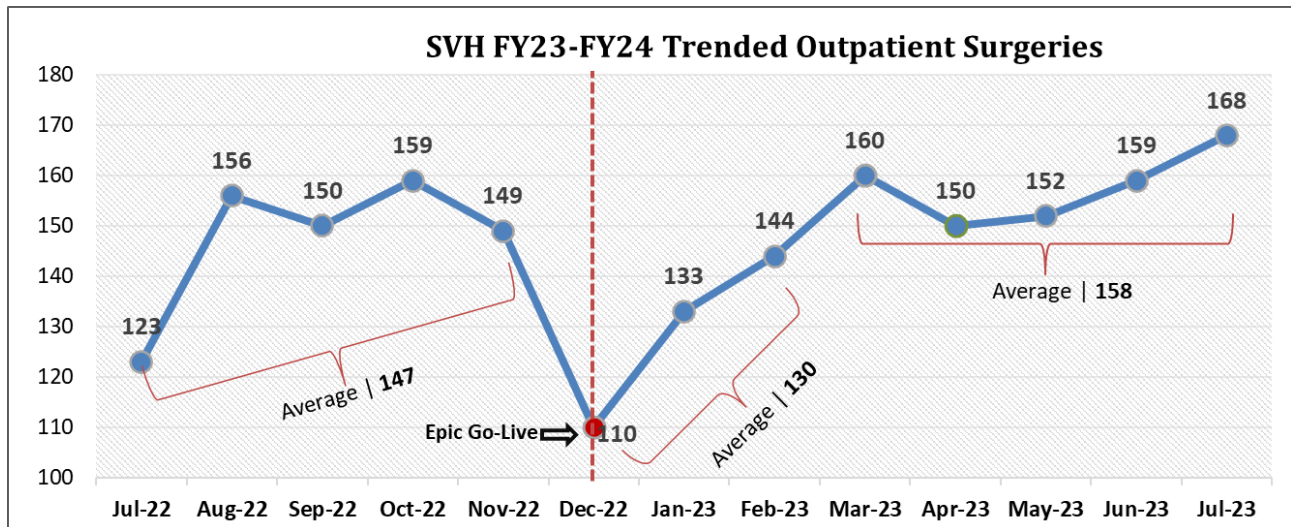
## 4. VOLUME SUMMARY:

**Table 4 | Patient Volumes – July 2023**

	Month of July 2023				Year To Date July 2023						
	Current Year		Variance		Current Year		Variance		Prior Year	Variance	
	Actual	Budget	Var	%	Actual	Budget	Var	%	Actual	Var	%
Acute Patient Days	235	264	(29)	-11%	235	264	(29)	-11%	284	(49)	-17%
Average Daily Census	7.6	8.5	(0.9)	-11%	7.6	8.5	(0.9)	-11%	9.2	(1.6)	-17%
Acute Discharges	58	56	2	3%	58	56	2	3%	60	(2)	-3%
IP Surgeries	14	13	1	8%	14	13	1	8%	18	(4)	-22%
OP Surgeries/Spec Proc	168	155	13	8%	168	155	13	8%	123	45	37%
<b>Total Surgeries / Procedure:</b>	<b>182</b>	<b>168</b>	<b>14</b>	<b>8%</b>	<b>182</b>	<b>168</b>	<b>14</b>	<b>8%</b>	<b>141</b>	<b>41</b>	<b>29%</b>
Total Outpatient Visits	4,563	4,588	(25)	-1%	4,563	4,588	(25)	-1%	4,057	506	12%
Total ER Visits	869	886	(17)	-2%	869	886	(17)	-2%	818	51	6%

Volumes remain strong. The inpatient performance was particularly exciting as we exceeded budget in discharges while coming in well below budgeted patient days. That's an indication that lengths of stay are coming down. In a fixed fee world, that is a positive - especially for our Medicare population that is reimbursed on a DRG basis. We just missed budget in outpatient visits and ER volumes, but both tracked very close, only missing by 1% and 2%, respectively. Both also far outpaced prior year. We expect to see more ER volumes as the new medical group gets settled in.

Surgical volumes continue to uptick with continued incremental volume in GI, general, and orthopedic surgeries. Outpatient surgeries in July mark a 13-month high, exceeding budget and far exceeding the prior year.



**5. CASH ACTIVITY SUMMARY:**

**Table 5 | Cash / Revenue Cycle Indicators - July 2023**

	Jul-23	Jun-23	Var	%
Days Cash on Hand	39.7	42.3	(2.6)	-6%
A/R Days	49.0	56.0	(7.0)	-13%
A/P Days	43.7	46.5	(2.8)	-6%

**ATTACHMENTS:**

- Attachment A is the Payer Mix Analysis
- Attachment B is the Operating Indicators Report
- Attachment C is the Balance Sheet
- Attachment D (two pages) is the Statement of Revenue and Expense. The first page breaks out the hospital operations and page two includes all other activity.
- Attachment E is the Cash Projection

**Sonoma Valley Hospital**  
**Payer Mix for the month of July, 2023**

**ATTACHMENT A**

<b>MONTH</b>				
<b>Gross Revenue</b>	<b>Actual</b>	<b>Budget</b>	<b>Variance</b>	<b>% Variance</b>
Medicare	11,058,147	9,528,521	1,529,626	5.8%
Medicare Mgd Care	4,663,342	4,522,472	140,869	0.5%
Medi-Cal	4,310,873	5,012,541	(701,668)	-2.7%
Self Pay	478,848	136,932	341,916	1.3%
Commercial	6,366,959	6,023,534	343,425	1.3%
Worker's Comp.	805,144	946,616	(141,472)	-0.5%
<b>Total</b>	<b>27,683,312</b>	<b>26,170,616</b>	<b>1,512,696</b>	<b>5.8%</b>

<b>YEAR TO DATE</b>				
<b>Actual</b>	<b>Budget</b>	<b>Variance</b>	<b>% Variance</b>	
11,058,147	9,528,521	1,529,626	5.8%	
4,663,342	4,522,472	140,869	0.5%	
4,310,873	5,012,541	(701,668)	-2.7%	
478,848	136,932	341,916	1.3%	
6,366,959	6,023,534	343,425	1.3%	
805,144	946,616	(141,472)	-0.5%	
<b>27,683,312</b>	<b>26,170,616</b>	<b>1,512,696</b>	<b>5.8%</b>	

<b>MONTH</b>			
<b>Payor Mix</b>	<b>Actual</b>	<b>Budget</b>	<b>Variance</b>
Medicare	39.9%	36.4%	3.5%
Medicare Mgd Care	16.8%	17.3%	-0.4%
Medi-Cal	15.6%	19.2%	-3.6%
Self Pay	1.7%	0.5%	1.2%
Commercial	23.0%	23.0%	0.0%
Worker's Comp.	2.9%	3.6%	-0.7%
<b>Total</b>	<b>100.0%</b>	<b>100.0%</b>	

<b>YEAR TO DATE</b>		
<b>Actual</b>	<b>Budget</b>	<b>Variance</b>
39.9%	36.4%	3.5%
16.8%	17.3%	-0.4%
15.6%	19.2%	-3.6%
1.7%	0.5%	1.2%
23.0%	23.0%	0.0%
2.9%	3.6%	-0.7%
<b>100.0%</b>	<b>100.0%</b>	

**SONOMA VALLEY HOSPITAL  
OPERATING INDICATORS  
For the Period Ended July 31, 2023**

**ATTACHMENT B**

<u>CURRENT MONTH</u>					<u>YEAR-TO-DATE</u>			<u>YTD</u>
<u>Actual</u>	<u>Budget</u>	<u>Favorable</u>			<u>Actual</u>	<u>Budget</u>	<u>Favorable</u>	<u>Prior</u>
<u>07/31/23</u>	<u>07/31/23</u>	<u>(Unfavorable)</u>			<u>07/31/23</u>	<u>07/31/23</u>	<u>(Unfavorable)</u>	<u>Year</u>
		<u>Variance</u>					<u>Variance</u>	<u>07/31/22</u>
<b>Inpatient Utilization</b>								
<b>Discharges</b>								
1	40	45	(5)	Med/Surg	40	45	(5)	47
2	18	12	6	ICU	18	12	6	13
3	58	56	2	Total Discharges	58	56	2	60
<b>Patient Days:</b>								
4	155	169	(14)	Med/Surg	155	169	(14)	177
5	80	95	(15)	ICU	80	95	(15)	107
6	235	264	(29)	Total Patient Days	235	264	(29)	284
7	-	-	-	Observation days	0	-	-	8
<b>Average Length of Stay:</b>								
8	3.9	3.8	0.1	Med/Surg	3.88	3.77	0.11	3.8
9	4.4	8.2	(3.8)	ICU	4.44	8.23	(3.79)	8.2
10	4.1	4.7	(0.6)	Avg. Length of Stay	4.05	4.68	(0.63)	4.7
<b>Average Daily Census:</b>								
11	5.0	5.5	(0.5)	Med/Surg	5.0	5.5	(0.5)	5.7
12	2.6	3.1	(0.5)	ICU	2.6	3.1	(0.5)	3.5
13	7.6	8.5	(0.9)	Avg. Daily Census	7.6	8.5	(0.9)	9.2
<b>Other Utilization Statistics</b>								
<b>Emergency Room Statistics</b>								
14	869	886	(17)	Total ER Visits	869	886	(17)	818
<b>Outpatient Statistics:</b>								
15	4,563	4,588	(25)	Total Outpatients Visits	4,563	4,588	(25)	4,057
16	14	13	1	IP Surgeries	14	13	1	18
17	168	155	13	OP Surgeries / Special Procedures	168	155	13	123
18	305	225	80	Adjusted Discharges	305	225	80	227
19	1,234	1,054	180	Adjusted Patient Days	1,234	1,054	180	1,089
20	39.8	34.0	5.8	Adj. Avg. Daily Census	39.8	34.0	5.8	35.1
21	1.4050	1.4000	0.005	Case Mix Index - Medicare	1.4050	1.4000	0.005	1.7145
22	1.4830	1.4000	0.083	Case Mix Index - All payers	1.4830	1.4000	0.083	1.6153
<b>Labor Statistics</b>								
23	215	210	(5)	FTE's - Worked	215	210	(5.1)	195
24	237	231	(6)	FTE's - Paid	237	231	(5.7)	224
25	46.44	48.71	2.27	Average Hourly Rate	46.44	48.71	2.27	47.53
26	5.96	6.81	0.85	FTE / Adj. Pat Day	70.32	80.36	10.04	75.27
27	33.9	38.8	4.8	Manhours / Adj. Pat Day	33.9	38.8	4.8	36.3
28	137.5	181.7	44.1	Manhours / Adj. Discharge	137.5	181.7	44.1	174.2
29	25.4%	25.1%	-0.3%	Benefits % of Salaries	25.4%	25.1%	-0.3%	24.0%
<b>Non-Labor Statistics</b>								
30	10.8%	13.1%	2.2%	Supply Expense % Net Revenue	10.8%	13.1%	2.2%	14.8%
31	1,512	2,375	863	Supply Exp. / Adj. Discharge	1,512	2,375	863	2,534
32	15,189	21,576	6,387	Total Expense / Adj. Discharge	15,189	21,576	6,387	20,993
<b>Other Indicators</b>								
33	39.7			Days Cash - Operating Funds				
34	49.0	50.0	(1.0)	Days in Net AR	49.0	50.0	(1.0)	40.9
35	101%			Collections % of Cash Goal	101%			94.9%
36	43.7	55.0	(11.3)	Days in Accounts Payable	43.7	55.0	(11.3)	51.0
37	15.3%	15.3%	0.0%	% Net revenue to Gross revenue	15.3%	15.3%	0.0%	15.6%
38	38.6%			% Net AR to Gross AR	38.6%			15.0%

**Sonoma Valley Health Care District**  
**Balance Sheet**  
**As of July 31, 2023**  
**UNAUDITED**

**ATTACHMENT C**

		<u>Current Month</u>	<u>Prior Month</u>	<u>Prior Year</u>
<b>Assets</b>				
Current Assets:				
1	Cash	\$ 779,118	\$ 969,233	\$ 1,688,209
2	Cash - Money Market	4,604,866	5,853,508	5,095,597
3	Net Patient Receivables	10,758,272	10,142,506	6,723,103
4	Allow Uncollect Accts	(1,917,101)	(1,790,487)	(1,456,290)
5	Net A/R	8,841,171	8,352,020	5,266,813
6	Other Accts/Notes Rec	1,625,138	1,723,073	2,045,820
7	Parcel Tax Receivable	3,800,000	3,836,245	3,800,000
8	GO Bond Tax Receivable	2,617,464	-	2,485,089
9	3rd Party Receivables, Net	(26,491)	(23,159)	97,905
10	Inventory	990,158	978,624	1,042,858
11	Prepaid Expenses	1,211,774	1,143,940	1,146,889
12	<b>Total Current Assets</b>	<b>\$ 24,443,197</b>	<b>\$ 22,833,483</b>	<b>\$ 22,669,180</b>
13	Property, Plant & Equip, Net	\$ 56,397,459	\$ 56,461,827	\$ 54,094,923
14	Trustee Funds - GO Bonds	5,774,189	5,274,189	5,754,812
15	Designated Funds - Board Approved	-	-	1,000,000
16	<b>Total Assets</b>	<b>\$ 86,614,845</b>	<b>\$ 84,569,499</b>	<b>\$ 83,518,915</b>
<b>Liabilities &amp; Fund Balances</b>				
Current Liabilities:				
17	Accounts Payable	\$ 4,525,849	\$ 5,317,267	\$ 6,287,322
18	Accrued Compensation	3,586,699	3,444,387	3,357,472
19	Interest Payable - GO Bonds	242,569	194,866	269,295
20	Accrued Expenses	1,696,777	1,498,333	360,538
21	Advances From 3rd Parties	-	-	-
22	Deferred Parcel Tax Revenue	3,483,333	3,800,000	3,483,337
23	Deferred GO Bond Tax Revenue	2,399,343	-	2,277,999
24	Current Maturities-LTD	217,475	217,475	430,034
25	Line of Credit - Union Bank	4,973,734	4,973,734	5,473,734
26	Other Liabilities	57,511	57,511	106,158
27	<b>Total Current Liabilities</b>	<b>\$ 21,183,290</b>	<b>\$ 19,503,574</b>	<b>\$ 22,045,891</b>
28	Long Term Debt, net current portion	\$ 26,957,319	\$ 27,004,036	\$ 26,782,895
29	Fund Balances:			
30	Unrestricted	\$ 22,802,897	\$ 22,659,402	\$ 19,474,189
31	Restricted	15,671,338	15,402,486	15,215,940
32	<b>Total Fund Balances</b>	<b>\$ 38,474,235</b>	<b>\$ 38,061,889</b>	<b>\$ 34,690,129</b>
33	<b>Total Liabilities &amp; Fund Balances</b>	<b>\$ 86,614,845</b>	<b>\$ 84,569,499</b>	<b>\$ 83,518,915</b>

**Sonoma Valley Health Care District  
Statement of Revenue and Expenses  
For the Period Ended July 31, 2023**

	Month					Year-To-Date				YTD	
	This Year		Variance			This Year		Variance			Prior Year
	Actual	Budget	\$	%		Actual	Budget	\$	%		
<b>1</b>	58	56	2	3%						60	
<b>2</b>	235	264	(29)	-11%						284	
<b>3</b>	-	-	-	0%						8	
<b>4</b>	\$ 22,427	\$ 20,016	\$ 2,412	12%						\$ 18,300	
					<b>Volume Information</b>						
					Acute Discharges	58	56	2	3%		60
					Patient Days	235	264	(29)	-11%		284
					Observation Days	-	-	-	*		8
					Gross O/P Revenue (000's)	\$ 22,427	\$ 20,016	\$ 2,412	12%		\$ 18,300
					<b>Financial Results</b>						
					<b>Gross Patient Revenue</b>						
<b>5</b>	\$ 5,270,930	\$ 6,679,349	\$ (1,408,419)	-21%	Inpatient	\$ 5,270,930	\$ 6,679,349	(1,408,419)	-21%	\$ 6,570,220	
<b>6</b>	13,362,380	12,109,562	1,252,818	10%	Outpatient	13,362,380	12,109,562	1,252,818	10%	9,545,916	
<b>7</b>	9,064,276	7,906,468	1,157,808	15%	Emergency	9,064,276	7,906,468	1,157,808	15%	8,771,469	
<b>8</b>	\$ 27,697,586	\$ 26,695,379	1,002,207	4%	<b>Total Gross Patient Revenue</b>	\$ 27,697,586	\$ 26,695,379	1,002,207	4%	\$ 24,887,605	
					<b>Deductions from Revenue</b>						
<b>9</b>	(23,186,323)	(22,483,096)	(703,227)	-3%	Contractual Discounts	\$ (23,186,323)	\$ (22,483,096)	(703,227)	-3%	\$ (20,886,403)	
<b>10</b>	(100,000)	(100,000)	-	0%	Bad Debt	(100,000)	(100,000)	-	0%	(100,000)	
<b>11</b>	(164,591)	(26,692)	(137,899)	-517%	Charity Care Provision	(164,591)	(26,692)	(137,899)	*	(15,946)	
<b>12</b>	-	-	-	*	Prior Period Adj/Government Program Revenue	-	-	-	*	-	
<b>13</b>	\$ (23,450,914)	\$ (22,609,788)	(841,126)	4%	<b>Total Deductions from Revenue</b>	\$ (23,450,914)	\$ (22,609,788)	(841,126)	4%	\$ (21,002,349)	
					<b>Net Patient Service Revenue</b>						
<b>14</b>	\$ 4,246,672	\$ 4,085,591	161,081	4%		\$ 4,246,672	\$ 4,085,591	161,081	4%	\$ 3,885,256	
<b>15</b>	\$ 85,509	\$ 92,806	(7,297)	-8%	Other Op Rev & Electronic Health Records	\$ 85,509	\$ 92,806	(7,297)	-8%	\$ 79,678	
<b>16</b>	\$ 4,332,181	\$ 4,178,397	153,784	4%	<b>Total Operating Revenue</b>	\$ 4,332,181	\$ 4,178,397	\$ 153,784	4%	\$ 3,964,934	
					<b>Operating Expenses</b>						
<b>17</b>	\$ 1,945,424	\$ 1,991,734	46,310	2%	Salary and Wages and Agency Fees	\$ 1,945,424	\$ 1,991,734	46,310	2%	\$ 1,880,707	
<b>18</b>	735,985	719,880	(16,105)	-2%	Employee Benefits	735,985	719,880	(16,105)	-2%	709,979	
<b>19</b>	\$ 2,681,409	\$ 2,711,614	30,205	1%	Total People Cost	\$ 2,681,409	\$ 2,711,614	30,205	1%	\$ 2,590,686	
<b>20</b>	\$ 557,320	\$ 603,924	46,604	8%	Med and Prof Fees (excl Agency)	\$ 557,320	\$ 603,924	46,604	8%	\$ 545,205	
<b>21</b>	460,649	534,662	74,013	14%	Supplies	460,649	534,662	74,013	14%	575,604	
<b>22</b>	305,875	326,386	20,511	6%	Purchased Services	305,875	326,386	20,511	6%	425,442	
<b>23</b>	240,214	272,967	32,753	12%	Depreciation	240,214	272,967	32,753	12%	229,541	
<b>24</b>	157,932	174,119	16,188	9%	Utilities	157,932	174,119	16,188	9%	172,238	
<b>25</b>	66,583	51,758	(14,826)	-29%	Insurance	66,583	51,758	(14,826)	-29%	53,384	
<b>26</b>	42,598	32,094	(10,504)	-33%	Interest	42,598	32,094	(10,504)	-33%	25,388	
<b>27</b>	66,641	100,804	34,164	34%	Other	66,641	100,804	34,164	34%	98,533	
<b>28</b>	-	-	-	*	Matching Fees (Government Programs)	-	-	-	*	0	
<b>29</b>	\$ 4,579,220	\$ 4,808,329	229,109	5%	<b>Operating expenses</b>	\$ 4,579,220	\$ 4,808,329	229,109	5%	\$ 4,716,021	

**Sonoma Valley Health Care District  
Statement of Revenue and Expenses  
For the Period Ended July 31, 2023**

	Month					Year-To-Date				YTD	
	This Year		Variance			This Year		Variance			Prior Year
	Actual	Budget	\$	%		Actual	Budget	\$	%		
<b>30</b>	\$ (247,039)	\$ (629,932)	\$ 382,893	61%						\$ (751,087)	
					<b>Operating Margin</b>						
					<b>Non Operating Rev and Expense</b>						
<b>31</b>	\$ 32,383	\$ 8,496	23,887	*	Miscellaneous Revenue/(Expenses)	\$ 32,383	\$ 8,496	23,887	*	\$ (10,896)	
<b>32</b>	(5,216)	(3,752)	(1,464)	39%	Donations	(5,216)	(3,752)	(1,464)	*	-	
<b>33</b>	-	-	-	*	Physician Practice Support-Prima	-	-	-	*	-	
<b>34</b>	316,667	316,667	-	0%	Parcel Tax Assessment Rev	316,667	316,667	-	0%	316,667	
<b>35</b>	-	-	-	0%	Extraordinary Items	-	-	-	0%	-	
<b>36</b>	\$ 343,834	\$ 321,411	22,423	7%	<b>Total Non-Operating Rev/Exp</b>	\$ 343,834	\$ 321,411	22,423	7%	\$ 305,771	
<b>37</b>	\$ 96,795	\$ (308,521)	405,316	*	<b>Net Income / (Loss) prior to Restricted Contributions</b>	\$ 96,795	\$ (308,521)	405,316	*	\$ (445,316)	
<b>38</b>	\$ -	\$ -	-	0%	Capital Campaign Contribution	\$ -	\$ -	-	0%	\$ -	
<b>39</b>	\$ 1,638	\$ 238,530	(236,892)	0%	Restricted Foundation Contributions	\$ 1,638	\$ 238,530	(236,892)	100%	\$ -	
<b>40</b>	\$ 98,433	\$ (69,991)	168,424	*	<b>Net Income / (Loss) w/ Restricted Contributions</b>	\$ 98,433	\$ (69,991)	168,424	*	\$ (445,316)	
<b>41</b>	170,419	158,829	11,590	7%	GO Bond Activity, Net	170,419	158,829	11,590	7%	155,196	
<b>42</b>	\$ 268,852	\$ 88,838	180,014	-203%	<b>Net Income/(Loss) w GO Bond Activity</b>	\$ 268,852	\$ 88,838	180,014	203%	\$ (290,120)	
	\$ 337,009	\$ (35,554)	372,563		<b>EBDA - Not including Restricted Contributions</b>	\$ 337,009	\$ (35,554)	372,563		\$ (215,775)	
	\$ (6,825)	\$ (356,965)	350,140	98%	<b>Operating EBDA - Not including Restricted Contributions</b>	\$ (6,825)	\$ (356,965)	350,140	98%	\$ (521,546)	

Sonoma Valley Hospital  
Cash Forecast  
FY 2024

ATTACHMENT E

	Actual July	Forecast Aug	Forecast Sept	Forecast Oct	Forecast Nov	Forecast Dec	Forecast Jan	Forecast Feb	Forecast Mar	Forecast Apr	Forecast May	Forecast Jun	TOTAL
<b>Hospital Operating Sources</b>													
1 Patient Payments Collected	3,964,672	4,162,906	4,371,051	4,589,604	4,681,396	4,485,423	4,575,840	4,575,840	4,575,840	4,575,840	4,575,840	4,575,840	53,710,092
2 Other Operating Revenue	26,197	85,850	33,561	200,452	23,522	40,390	43,299	100,254	65,455	150,750	228,646	115,291	1,113,667
3 Other Non-Operating Revenue	42,960	7,800	7,800	7,800	7,800	7,800	7,800	7,800	7,800	7,800	7,800	7,800	128,760
4 Unrestricted Contributions													-
5 Line of Credit													-
<b>Sub-Total Hospital Sources</b>	<b>4,033,829</b>	<b>4,256,556</b>	<b>4,412,413</b>	<b>4,797,856</b>	<b>4,712,718</b>	<b>4,533,613</b>	<b>4,626,939</b>	<b>4,683,894</b>	<b>4,649,095</b>	<b>4,734,390</b>	<b>4,812,286</b>	<b>4,698,931</b>	<b>54,952,519</b>
<b>Hospital Uses of Cash</b>													
6 Operating Expenses	5,152,114	4,831,075	4,752,307	4,912,485	4,823,838	4,881,548	4,984,096	4,828,418	5,073,479	4,946,353	5,034,948	4,956,867	59,177,527
7 Add Capital Lease Payments	64,932												64,932
8 Add: Bridge Loan Paybacks									608,487				608,487
9 Add: CHFFA Help II Loan Repayments	30,833	30,833	30,833	30,833	30,833	30,833	30,833	30,833	30,833	30,833	30,833	30,833	369,996
10 Additional Liabilities/LOC						250,000							250,000
11 Capital Expenditures	157,689	-	1,370,430	-	520,430	-	1,795,430	425,000	1,370,430	-	1,370,430	452,527	7,462,366
<b>Total Hospital Uses</b>	<b>5,405,567</b>	<b>4,861,908</b>	<b>6,153,570</b>	<b>4,943,318</b>	<b>5,375,101</b>	<b>5,162,381</b>	<b>6,810,359</b>	<b>5,284,251</b>	<b>7,083,229</b>	<b>4,977,186</b>	<b>6,436,211</b>	<b>5,440,227</b>	<b>67,933,307</b>
<b>Net Hospital Sources/Uses of Cash</b>	<b>(1,371,738)</b>	<b>(605,352)</b>	<b>(1,741,158)</b>	<b>(145,462)</b>	<b>(662,382)</b>	<b>(628,768)</b>	<b>(2,183,420)</b>	<b>(600,357)</b>	<b>(2,434,135)</b>	<b>(242,796)</b>	<b>(1,623,926)</b>	<b>(741,296)</b>	<b>(12,980,788)</b>
<b>Non-Hospital Sources</b>													
12 Restricted Cash/Money Market	500,000			4,000,000			(3,000,000)						1,500,000
13 Restricted Capital Donations	1,638		520,430		520,430		520,430		520,430		520,430	258,577	2,862,365
14 Parcel Tax Revenue	179,984					2,134,000				1,486,016			3,800,000
15 Other Payments			1,500,000										1,500,000
16 Other:													-
17 IGT							5,400,000	820,933				41,568	6,262,501
18 IGT - AB915										227,253			227,253
19 QIP													-
<b>Sub-Total Non-Hospital Sources</b>	<b>681,622</b>	<b>-</b>	<b>2,020,430</b>	<b>4,000,000</b>	<b>520,430</b>	<b>2,134,000</b>	<b>2,920,430</b>	<b>820,933</b>	<b>520,430</b>	<b>1,713,269</b>	<b>520,430</b>	<b>300,145</b>	<b>16,152,119</b>
<b>Non-Hospital Uses of Cash</b>													
20 Matching Fees					1,958,178	240,898	-	-	-	-	20,784		2,219,860
<b>Sub-Total Non-Hospital Uses of Cash</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>1,958,178</b>	<b>240,898</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>20,784</b>	<b>-</b>	<b>2,219,860</b>
<b>Net Non-Hospital Sources/Uses of Cash</b>	<b>681,622</b>	<b>-</b>	<b>2,020,430</b>	<b>4,000,000</b>	<b>(1,437,748)</b>	<b>1,893,102</b>	<b>2,920,430</b>	<b>820,933</b>	<b>520,430</b>	<b>1,713,269</b>	<b>499,646</b>	<b>300,145</b>	<b>13,932,259</b>
<b>Net Sources/Uses</b>	<b>(690,116)</b>	<b>(605,352)</b>	<b>279,272</b>	<b>3,854,538</b>	<b>(2,100,130)</b>	<b>1,264,334</b>	<b>737,010</b>	<b>220,576</b>	<b>(1,913,705)</b>	<b>1,470,473</b>	<b>(1,124,280)</b>	<b>(441,151)</b>	
Operating Cash at beginning of period	1,469,233	779,117	173,765	453,037	4,307,575	2,207,445	3,471,779	4,208,790	4,429,366	2,515,661	3,986,134	2,861,855	
<b>Operating Cash at End of Period</b>	<b>779,117</b>	<b>173,765</b>	<b>453,037</b>	<b>4,307,575</b>	<b>2,207,445</b>	<b>3,471,779</b>	<b>4,208,790</b>	<b>4,429,366</b>	<b>2,515,661</b>	<b>3,986,134</b>	<b>2,861,855</b>	<b>2,420,704</b>	
Money Market Account - Undesignated	4,604,866	4,604,866	4,604,866	604,866	604,866	604,866	3,604,866	3,604,866	3,604,866	3,604,866	3,604,866	3,604,866	
<b>Total Cash at End of Period</b>	<b>5,383,983</b>	<b>4,778,631</b>	<b>5,057,903</b>	<b>4,912,441</b>	<b>2,812,311</b>	<b>4,076,645</b>	<b>7,813,655</b>	<b>8,034,232</b>	<b>6,120,527</b>	<b>7,591,000</b>	<b>6,466,721</b>	<b>6,025,569</b>	
<b>Average Days of Cash on Hand</b>	<b>40.1</b>												
<b>Days of Cash on Hand at End of Month</b>	<b>39.7</b>	<b>33.8</b>	<b>35.7</b>	<b>34.7</b>	<b>19.9</b>	<b>28.8</b>	<b>55.2</b>	<b>56.8</b>	<b>43.3</b>	<b>53.6</b>	<b>45.7</b>	<b>42.6</b>	